

# RED CLIFFS PLAZA

880 WEST RED CLIFFS DRIVE  
WASHINGTON, UT 84780



## PERMIT / BID SET

AUGUST 19, 2016

\*IMAGE IS TO BE USED AS A GRAPHIC REPRESENTATION ONLY. ELEMENTS SHOWN IN RENDERING MAY OR MAY NOT BE PART OF THIS FINAL DESIGN SET.

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SHEET INDEX	
SHEET NUMBER	SHEET NAME
<b>GENERAL</b>	
G1.1	COVER SHEET
G1.2	GENERAL INFORMATION
G1.3	CODE PLAN & SUMMARY
<b>CIVIL</b>	
C-1	COVER SHEET
C-2	DEMOLITION PLAN
C-3	SITE PLAN
C-4	GRADING AND DRAINAGE PLAN
C-5	ADA PATH OF TRAVEL
C-6	FIRE PROTECTION PLAN
<b>LANDSCAPE</b>	
L1	MASTER LANDSCAPE PLAN
L2	MASTER IRRIGATION PLAN
L3	DETAILS AND NOTES
<b>STRUCTURAL</b>	
S100	GENERAL NOTES DETAILS
S200	FOUNDATION PLAN
S300	ROOF FRAMING PLAN
S400	HIGH ROOF FRAMING PLAN AND DETAILS
S500	DETAILS
S600	CANOPY DETAILS
S700	BRACING DETAILS
<b>ARCHITECTURAL</b>	
A1.1	SITE PLAN
A1.2	SITE DETAILS
A1.3	SITE DETAILS
A2.1	FLOOR PLAN
A2.3	ROOF PLAN
A4.1	EXTERIOR ELEVATIONS
A4.2	EXTERIOR ELEVATIONS
A5.1	BUILDING SECTION
A6.1	WALL SECTIONS
A6.2	WALL SECTIONS
A8.1	DOOR & WINDOW SCHEDULES
A8.2	EXTERIOR DOOR & WINDOW DETAILS
A8.1	RESTROOM ENLARGED PLAN
A10.1	PARTITION TYPES & PLAN DETAILS
A10.2	BUILDING DETAILS
A10.3	BUILDING DETAILS
A10.4	FLASHING DETAILS
<b>PLUMBING</b>	
P100	PLUMBING PLAN
<b>MECHANICAL</b>	
M100	MECHANICAL PLAN
<b>ELECTRICAL</b>	
E0.0	GENERAL NOTES
E1.0	ELECTRICAL SITE PLAN
E1.1	PHOTOMETRIC SITE PLAN
E2.0	POWER AND LIGHTING PLAN
E3.0	ELECTRICAL ROOF PLAN
E4.0	ONE-LINE AND SCHEDULES
E4.1	PANEL SCHEDULES

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RED CLIFFS PLAZA

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REV. #	ISSUED FOR	DATE
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JOB NUMBER: 16025

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APPROVED BY: RD

DATE: 7/15/2016

Original drawing is 24" x 36" | Scale entries  
 accordingly if reduced

SHEET TITLE:

COVER SHEET

SHEET:

G1.1

**ARCHITECTURAL / INTERIORS ABBREVIATIONS**

& (E) (N) (R) @ AB ACCU ACT AD ADD ADJ AFC AFF AFG ALT ALUM ANOD APPROX ARCH ASSY	AND EXISTING NEW LOCATED AT ANCHOR BOLT ACCESSIBLE ACOUSTICAL ACOUSTIC CEILING TILE AREA DRAIN ADDITIONAL ADJACENT / ADJUSTABLE ABOVE FINISH CEILING ABOVE FINISH FLOOR ABOVE FINISH GRADE ALTERNATE ALUMINIUM ANODIZED APPROXIMATE / APPROXIMATELY ARCHITECT/ARCHITECTURAL ASSEMBLY	IN INCL INFO INSUL INT JAN LAB LAM LAND LAV LB LF LOC LVR M MACH MAINT MATL MAX MDF MECH MEZZ MFR MIN MIR MISC mm MTD MTL N NA NFPA NIC NIN NOM NR NTS	INCH INCLUDED / INCLUDING INFORMATION INSULATION INTERIOR JANITOR / JANITOR'S CLOSET LABORATORY LAMINATE / LAMINATION LANDSCAPE / LANDSCAPING LAVATORY POUND (WEIGHT) LINEAR FOOT / LINEAR FEET LOCATION LOUVER METER MACHINE MAINTENANCE MATERIAL MAXIMUM MEDIUM DENSITY FIBERBOARD MECHANICAL MEZZANINE MANUFACTURER MINIMUM MIRROR MISCELLANEOUS MILLIMETER MOUNTED METAL NORTH NOT APPLICABLE NATIONAL FIRE PROTECTION AGENCY NOT IN ARCHITECTURAL CONTRACT NOT IN CONTRACT NOMINAL NOT RATED / NON-RATED NOT TO SCALE
BD BEL BFG BLDG BLKG BOT CAB CEM CG CIP CJ CL CLG CLR CM CMU CNTR COL CONC CONN CONST CONT CONTR COORD CORR CTR CTSK	BOARD BELOW BELOW FINISH GRADE BUILDING BLOCKING BOTTOM CABINET CEMENT CORNER GUARD CAST-IN-PLACE CONTROL JOINT / CONSTRUCTION JOINT CENTER LINE CEILING CLEAR CEILING METERS CONCRETE MASONRY UNIT COUNTER COLUMN CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CONTRACTOR COORDINATE CORRIDOR CENTER COUNTER SUNK	OC OD OH OPP P PF PARTN PERF PERIM PERP PKG PL PLAM PLBG PLAN PLYWD PNL PR PREFAB PROJ PSI PT PTD PTN PVC PWR	ON CENTER OUTSIDE DIAMETER / OUTSIDE DIMENSION OVERHEAD OPENING OPPOSITE PAINT POWDER ACTUATED FASTENER PARTITION PERFORATED PERIMETER PERPENDICULAR PARKING PLATE / PLASTIC LAMINATE / PROPERTY LINE PLASTIC LAMINATE PLUMBING PLAN PLYWOOD PANEL PAIR PREFABRICATED PROJECT POUNDS PER SQUARE INCH POINT / PAINT PAINTED PARTITION POLYVINYL CHLORIDE POWER QUARRY TILE / QUART QUANTITY
D DBL DCJ DEG DEMO DF DIA DIM DISP DMFF DO DP DPTN DR DRN DTL DW DWG DWR	DEEP / DEPTH DOUBLE DRYWALL CONSTRUCTION JOINT DEGREE DEMOLITION / DEMOLISH DRINKING FOUNTAIN / WATER COOLER DIAMETER DIMENSION DISPOSAL DAMP PROOFING DOWN DOOR OPENING PREFABRICATED DEMOUNTABLE PARTITION DOOR DRAIN DETAIL DISHWASHER DRAWING DRAWER	PLAM PLBG PLAN PLYWOOD PNL PR PREFAB PROJ PSI PT PTD PTN PVC PWR	QUANTITY QUART QUANTITY RADIUS / RIGHT RETURN AIR RESILIENT BASE / RUBBER BASE REFLECTED CEILING PLAN ROOF DRAIN RECEPTACLE REFER / REGARDING REFERENCE / REFRIGERATOR REFLECTED / REFLECTIVE / REFLECT REFRIGERATOR REINFORCED / REINFORCING REQUIRE(D) / REQUIREMENTS RESILIENT RETAINING REVISION / REVISE(D) ROOM ROUGH OPENING
E EA EB EJ ELEC ELEV EMERG ENCL EQ EQUIP ES EW EXH EXIST EXP EXT	EAST EACH EXPANSION BOLT / EXPANSION ANCHOR EXPANSION JOINT ELEVATION ELECTRICAL / ELECTRIC ELEVATOR EMERGENCY ENCLOSURE EQUAL EQUIPMENT EACH SIDE EACH WAY EXHAUST EXISTING EXPOSED / EXPANSION EXTERIOR	QT QTY R RA RB RCP RD RECEPT RECPT RE REF REFLECTED / REFLECTIVE / REFLECT REFRIGERATOR REINFORCED / REINFORCING REQUIRE(D) / REQUIREMENTS RESILIENT RETAINING REVISION / REVISE(D) ROOM ROUGH OPENING	SANITARY SCHEDULE / SCHEDULED SECTION / VERTICAL SECTION SQUARE FEET SHEET SHOWER SIMILAR SPECIFICATION(S) SPEAKER SQUARE SQUARE STAINLESS STEEL / SOLID SURFACE STONE SOUND TRANSMISSION COEFFICIENT STANDARD STEEL STORAGE STRUCTURAL SUSPENDED SYMMETRICAL SYSTEM
FA FACT FD FDC FDN FE FEC FF FFE / FF&E FHC FIN FIX FL FLASH FO FF FFG FR FS FT FTG FURN	FIRE ALARM FACTORY FLOOR DRAIN FIRE DEPARTMENT CONNECTION FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR FURNITURE, FINISHES & EQUIPMENT FIRE HOSE CABINET FINISH FIXTURE FLOOR FLASHING FACE OF FIRE PROTECTION FIREPROOFING FRAME / FIRE RATED / FIRE RETARDENT FIRE SPRINKLER FEET FOOTING FURNITURE	SAN SCHED SECT SF SHT SHWR SIM SPEC SPKR SQ SS ST STD STL STOR STRUCT SUSP SYMM SYS	T.O. TEL TEMP THRU TV TYP UNLESS NOTED OTHERWISE UNLESS OTHERWISE NOTED VERIFY IN FIELD WITH WITHOUT W.C. CLOSET WOOD

**DRAWING ANNOTATION SYMBOLS AND CALLOUTS**

**DRAWING TITLE:**

**GRAPHIC SYMBOLS:**

**DRAWING REFERENCE SYMBOL:**

**BUILDING / WALL SECTION REFERENCE:**

**ELEVATION REFERENCE:**

**DETAIL REFERENCE:**

**ROOM NAME / NUMBER SYMBOL:**

**PARTITION & DOOR TYPE SYMBOLS:**

**REVISION SYMBOLS:**

**TYPICAL SCHEDULE:**

**MATERIAL CUT LEGEND:**

	EARTH		RIGID INSULATION		STUDWALL
	GRAVEL		STEEL		ALUMINUM
	ASPHALT		MASONRY GROUT		FINISHED WOOD
	CONCRETE		GYPSUM BOARD		BATT INSULATION
	PRECAST CONCRETE		BLOCKING		
	PLYWOOD				
	CONTINUOUS BLOCKING				

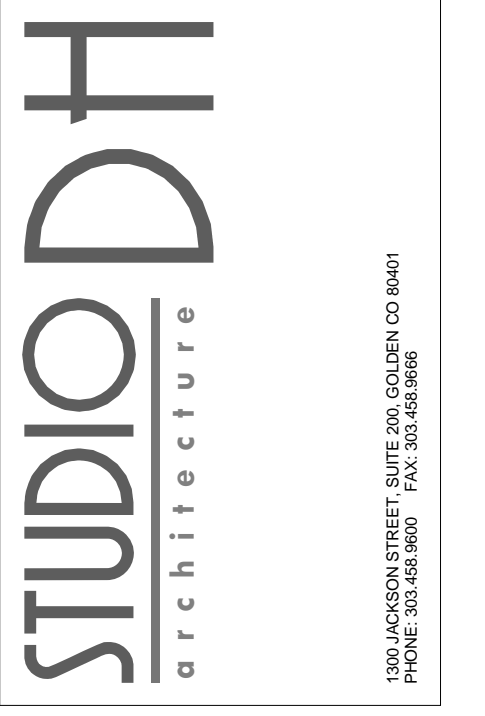
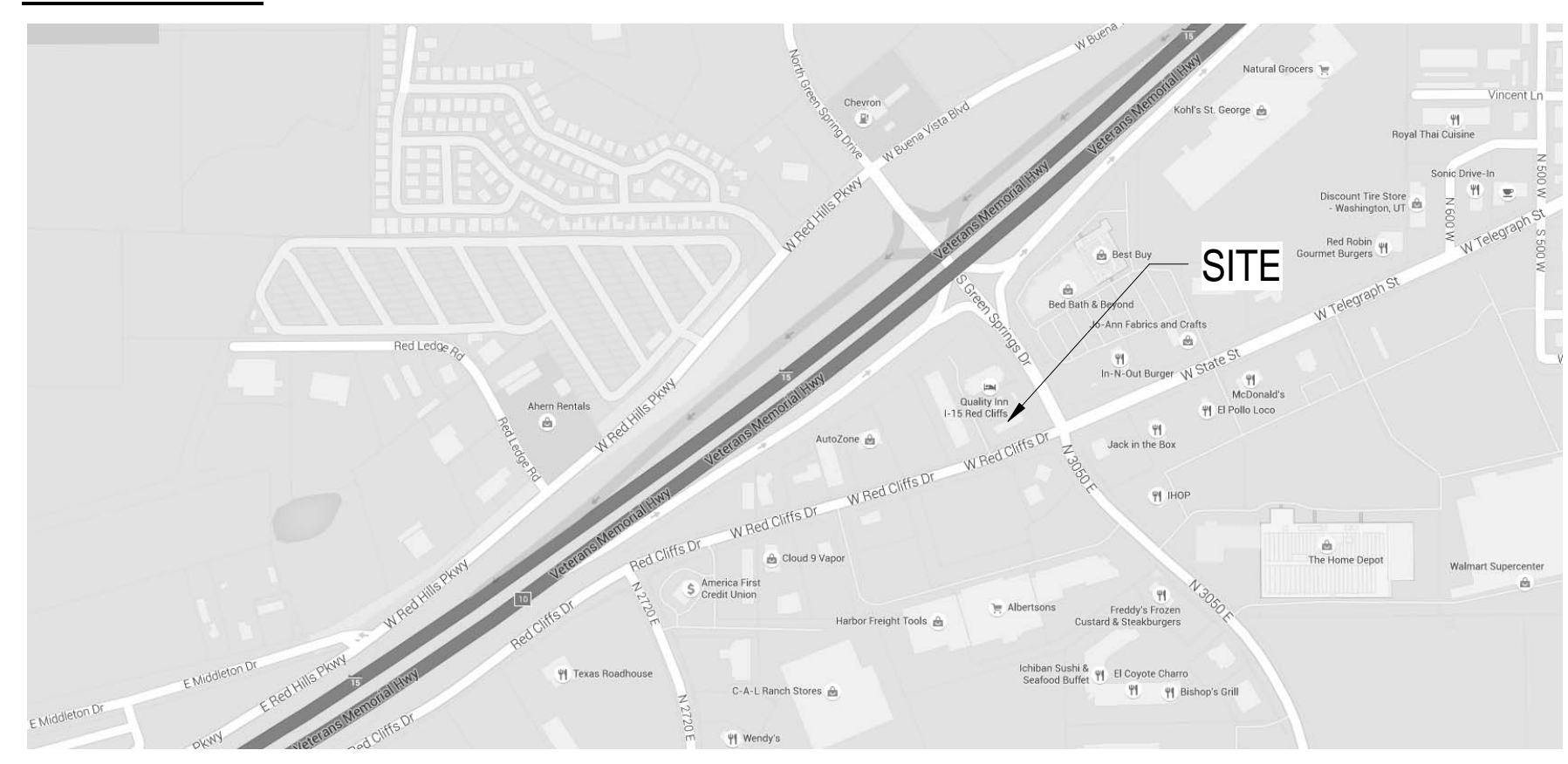
**PROJECT DESCRIPTION**

NEW SINGLE STORY, MULTI-TENANT, WOOD FRAMED, RETAIL SHELL BUILDING.

**GENERAL NOTES**

- GENERAL:**
- THESE DOCUMENTS REPRESENT THE DESIGN INTENT FOR THE SUBJECT CONSTRUCTION AND ARE NOT INTENDED TO BE A COMPLETE SET OF INSTRUCTIONS ON HOW TO CONSTRUCT A BUILDING PROJECT.
  - THESE DRAWINGS SHALL BE TAKEN AS A PART OF THE ENTIRE PROJECT DESIGN INFORMATION, AND SHALL BE USED IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS, REFERENCE DOCUMENTS, PERFORMANCE SPECIFICATIONS, AND ANY OWNER-SUPPLIED BUILDING PERFORMANCE CRITERIA TO CONVEY THE REQUIREMENTS OF THE DESIGN.
  - ANYTHING MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, OR SHOWN IN THE DRAWINGS BUT NOT IN THE SPECIFICATIONS SHALL BE INTERPRETED AS BEING IN BOTH. ENLARGED SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS, PROJECT SPECIFICATIONS SHALL TAKE PRECEDENCE OVER DRAWING NOTES.
  - DISCREPANCIES BETWEEN ANY CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
  - THE CONTRACTOR SHALL REVIEW AND DEMONSTRATE UNDERSTANDING OF THE DESIGN INTENT DEPICTED HERE THROUGH SUBMITTAL OF REQUESTED PROJECT COORDINATION DRAWINGS, SAMPLES, MATERIALS, PRODUCT DATA, MOCK-UPS, AND OTHER REQUESTED COMMUNICATIONS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS AND METHODS REQUIRED TO CONSTRUCT THE PROJECT IN COMPLIANCE WITH THE DESIGN INTENT.
  - THE CONTRACTOR SHALL WORK WITHIN THE AREA BOUNDARIES INDICATED IN THE PROJECT DOCUMENTS, AND COMPLY WITH ALL APPLICABLE BUILDING CODE, REGULATION, & ORDINANCE REQUIREMENTS. PERFORM THE WORK AT THE PROJECT SITE DURING THE OWNER'S NORMAL BUSINESS HOURS, UNLESS OTHERWISE NOTED.
  - OCCUPANTS ADJACENT TO THE PROJECT AREA BOUNDARIES SHALL CONTINUE UNINTERRUPTED OCCUPANCY DURING CONSTRUCTION OF THE PROJECT. COORDINATE ALL LOGISTICS WITH OWNER.
  - VERIFY FIELD CONDITIONS FOR COORDINATION WITH THE PROJECT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK. COORDINATE THE WORK WITH EQUIPMENT, FURNISHINGS, AND SYSTEMS PROVIDED BY THE OWNER.
  - OMISSIONS FROM THE DRAWINGS OR SPECIFICATIONS, OR THE INCORRECT DESCRIPTION OF DETAILS OF WORK THAT ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR THAT ARE INDUSTRY STANDARD APPLICATIONS AND CUSTOMARILY PERFORMED SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MISDESCRIBED DETAILS OF THE WORK.
  - THE CONTRACTOR SHALL IN ALL CASES APPLY CONSTRUCTION INDUSTRY BEST PRACTICES TO ALL CONSTRUCTION ACTIVITIES PERFORMED UNDER THEIR AUTHORITY.
  - THESE NOTES SHALL NOT BE CONSTRUED AS ALTERING ANY REQUIREMENT OF THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, AND ARE PROVIDED HERE TO HELP CLARIFY THE ROLE, PURPOSE, AND IMPORTANCE OF THE DOCUMENTS PROVIDED.
  - REFER TO CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, AND ELECTRICAL FOR ADDITIONAL INFORMATION AND A FULL DESCRIPTION OF THE WORK
  - CONTROLS, OPERATING MECHANISMS AND HARDWARE INTENDED FOR OPERATION BY OCCUPANTS, INCLUDING SWITCHES THAT CONTROL LIGHTING AND VENTILATION AND ELECTRICAL OUTLETS IN ACCESSIBLE SPACES, AND ALONE ACCESSIBLE ROUTES SHALL BE ACCESSIBLE COMPLYING WITH SECTION 308, ICC/ANSI A117.1-1998.
  - AUTOMATIC FIRE SPRINKLER SYSTEM PLANS SHALL BE SUBMITTED BY CONTRACTOR TO DETERMINE COMPLIANCE WITH APPLICABLE BUILDING, PLUMBING AND FIRE CODES. DRAWINGS SHALL BE SUBMITTED TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL. SPRINKLER SYSTEM TO BE DESIGNED AROUND MECHANICAL DUCTS TO ALLOW FOR REQUIRED CLEARANCES.
- DEFINITIONS:**
- "TYPICAL" OR "TYP" INDICATES IDENTICAL COMPLETE SYSTEM SHALL BE PROVIDED FOR ALL OCCURRENCES OF THE CONDITION NOTED.
  - "SIMILAR" OR "SIM." INDICATES COMPLETE SYSTEM AND COMPONENTS SHALL BE PROVIDED COMPARABLE TO THE CHARACTERISTICS OF THE DESIGN INTENT FOR THE CONDITION NOTED.
  - "AS REQUIRED" INDICATES COMPONENTS REQUIRED TO COMPLETE THE NOTED SYSTEM AS INDICATED IN THE PROJECT DOCUMENTS SHALL BE PROVIDED.
  - "ALIGN" INDICATES ACCURATELY PROVIDE FINISH FACES OF MATERIALS IN STRAIGHT, TRUE, AND ALIGN RELATION TO ADJACENT MATERIALS.
- DIMENSIONS:**
- DIMENSIONS SHOWN ON THE DRAWINGS SHALL INDICATE THE INTENDED SIZE, CLEARANCE, AND DIMENSIONAL RELATIONSHIP BETWEEN PROJECT SYSTEMS AND COMPONENTS.
  - DIMENSIONS SHALL NOT BE DETERMINED BY SCALING THE DRAWINGS.
  - NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCY PRIOR TO PROCEEDING WITH THE WORK.
  - DIMENSIONS ARE TO FACE OF STUD, CONCRETE, OR CMU UNO.
  - VERIFY ALL OPENINGS THROUGH FLOORS, ROOF, AND WALLS WITH PLUMBING, MECHANICAL, AND ELECTRICAL SUB-CONTRACTORS. VERIFICATION OF LOCATIONS & SIZES, RATINGS ARE GENERAL CONTRACTORS COMPLETE RESPONSIBILITY.
  - VERTICAL MASONRY DIMENSIONS ARE TO TOP OF MASONRY COURSE - WIDTHS AND OPENING DIMENSIONS ARE NOMINAL MODULAR I.E. WIDTHS OF MASONRY ELEMENTS ARE 3/8" LESS THAN INDICATED AND WIDTHS OF MASONRY OPENINGS ARE 3/8" MORE THAN INDICATED - OVERALL BUILDING WIDTH TO BE STRETCHED 3/8" TO MATCH INDICATED DIMENSIONS
  - CEILING HEIGHTS ARE INDICATED FROM THE FLOOR ELEVATION TO THE FACE OF SUSPENDED SUSPENDED CEILING SYSTEM OR FACE OF FINISH MATERIAL AS SCHEDULED.
  - DIMENSIONS INDICATING "CLEAR WIDTH" SHALL BE FROM FINISH FACE TO FINISH FACE
  - TYPICAL DIMENSIONS FROM DOOR OPENING TO PERPENDICULAR WALL IS 4" DIMENSION TO PATCH PLAN INDICATION
  - MOVEMENT OF THE SLAB ON GRADE MAY CAUSE DAMAGE TO ANYTHING CONNECTED TO BOTH THE SLAB AND OTHER PORTIONS OF THE SUPERSTRUCTURE - ISOLATION DETAILS FOR PARTITIONS, WALLS, BASEBOARDS, & OTHER ITEMS MAY BE REQUIRED - REFER TO APPROPRIATE DRAWINGS OR CONSULT WITH THE RESPONSIBLE MEMBER OF THE DESIGN TEAM PRIOR TO MAKING SUCH CONNECTIONS
  - ALIGNMENT OF PARTITIONS AND FINISHES AS SCHEDULED SHALL BE STRAIGHT, TRUE & PLUMB. THE PRIORITY FOR PROJECT DIMENSIONS SHALL BE IN THE FOLLOWING ORDER:  
 A. MIN DIMENSION FOR BARRIER FREE ACCESSIBILITY CLEARANCE & BUILDING CODE REQ  
 B. LARGE SCALE DETAILS  
 C. SMALL SCALE DETAILS  
 D. ENLARGED VIEWS  
 E. FLOOR PLANS AND ELEVATIONS

**VICINITY MAP**



**RED CLIFFS PLAZA**  
 880 W. Red Cliffs Drive  
 Washington, Utah 84780

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REV.#	ISSUED FOR	PERMIT/ID SET	DATE	JOB NUMBER:	16025
			8/20/2015	DRAWN BY:	SLS
				APPROVED BY:	RD
				DATE:	7/15/2016
				Original drawing is 24" x 36"   Scale entries accordingly if reduced	
				SHEET TITLE: <b>GENERAL INFORMATION</b>	

SHEET:  
**G1.2**

**CODE PLAN SYMBOLS LEGEND**

- DIRECTION OF EXIT ACCESS TRAVEL
- PRIMARY FIRE DEPARTMENT ACCESS
- FIRE EXTINGUISHER AND CABINET
- LONGEST PATH OF TRAVEL
- HANDICAP ACCESSIBLE FIXTURE / EQUIPMENT
- FIRE DEPARTMENT ACCESS BOX - KNOX OR SIM

**CODE AREA OCCUPANCY SCHEDULE**

Number	Name	Area	Area Per Occupant	Classification	Occupancy Load
101	TENANT 1	2200 SF	100 SF	Business Areas	22
102	TENANT 2	3812 SF	30 SF	Mercantile Basement and Grade Floor Areas	127
100	TENANT 3	3000 SF	30 SF	Mercantile Basement and Grade Floor Areas	100
<b>TOTAL</b>		<b>9012 SF</b>			<b>249</b>

**COMcheck Software Version 4.0.3.1**  
**Envelope Compliance Certificate**

**Project Information**  
 Energy Code: 2015 IECC  
 Project Title: Red Cliffs Plaza  
 Location: Washington, Utah  
 Climate Zone: 3b  
 Project Type: New Construction  
 Vertical Glazing / Wall Area: 28%

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**Designer/Contractor:** Robert Davis  
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 3034589600  
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**Building Area**

Building Area	Floor Area
1-Retail - Nonresidential	9222

**Additional Efficiency Package**  
 High Efficiency HVAC: Systems that do not meet the performance requirement will be identified in the mechanical requirements checklist report.

**Envelope Assemblies**

Assembly	Gross Area of Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor
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Roof 1: Insulation Entirely Above Deck, High Albedo Roof Required, 3-Year-Aged Solar Reflectance Index = 79.00 (a) (Bldg. Use 1 - Retail)	7491	---	25.0	0.039	0.039
Roof 2: Metal Building, Standing Seam, High Albedo Roof Required, Single Insulation Layer with Thermal Blocks (d), 3-Year-Aged Solar Reflectance = 0.60, Thermal Emittance = 0.84 (a) (Bldg. Use 1 - Retail)	1726	0.0	25.0	0.039	0.039
Floor 1: Slab-On-Grade Unheated, Vertical 1 ft. (Bldg. Use 1 - Retail) (c)	432	---	10.0	0.580	0.580
<b>NORTH</b>					
North Elevation EIFS: Wood-Framed, 1/2" o.c. (Bldg. Use 1 - Retail)	720	21.0	0.0	0.062	0.064
North Elevation Siding: Wood-Framed, 1/2" o.c. (Bldg. Use 1 - Retail)	392	21.0	0.0	0.062	0.064
North Elevation CMU: Wood-Framed, 1/2" o.c. (Bldg. Use 1 - Retail)	646	21.0	0.0	0.062	0.064
Window 1: Metal Frame Curtain Wall/Storefront, Perf. Specs., Product ID: Viracon 1" V51-20 Insulating, SHGC 0.23, PF 0.50, (Bldg. Use 1 - Retail) (b)	408	---	---	0.420	0.460
<b>EAST</b>					
East Elevation EIFS: Wood-Framed, 1/2" o.c. (Bldg. Use 1 - Retail)	800	21.0	0.0	0.062	0.064
East Elevation Siding: Wood-Framed, 1/2" o.c. (Bldg. Use 1 - Retail)	298	21.0	0.0	0.062	0.064
East Elevation CMU: Wood-Framed, 1/2" o.c. (Bldg. Use 1 - Retail)	1525	21.0	0.0	0.062	0.064
5x operable windows: Metal Frame Curtain Wall/Storefront, Perf. Specs., Product ID: Viracon 1" V51-20 Insulating, SHGC 0.23, PF 0.48, (Bldg. Use 1 - Retail) (b)	431	---	---	0.300	0.460

Project Title: Red Cliffs Plaza  
 Data filename: P:\116025 - Greens Utah Shell\Drawings\Code\2015-COMcheck.cck  
 Report date: 08/21/16  
 Page 1 of 9

**Envelope Assemblies**

Assembly	Gross Area of Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor
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Retail (b)					
Tower Window: Metal Frame Curtain Wall/Storefront, Perf. Specs., Product ID: Viracon 1" V51-20 Insulating, SHGC 0.23, PF 0.50, (Bldg. Use 1 - Retail) (b)	625	---	---	0.420	0.460
<b>SOUTH</b>					
South Elevation EIFS: Wood-Framed, 1/2" o.c. (Bldg. Use 1 - Retail)	428	21.0	0.0	0.062	0.064
South Elevation Siding: Wood-Framed, 1/2" o.c. (Bldg. Use 1 - Retail)	749	21.0	0.0	0.062	0.064
South Elevation CMU: Wood-Framed, 1/2" o.c. (Bldg. Use 1 - Retail)	738	21.0	0.0	0.062	0.064
Main Corner Window: Metal Frame Curtain Wall/Storefront, Perf. Specs., Product ID: Viracon 1" V51-20 Insulating, SHGC 0.23, PF 0.48, (Bldg. Use 1 - Retail) (b)	391	---	---	0.420	0.460
<b>WEST</b>					
West Elevation EIFS: Wood-Framed, 1/2" o.c. (Bldg. Use 1 - Retail)	1093	21.0	0.0	0.062	0.064
West Elevation Siding: Wood-Framed, 1/2" o.c. (Bldg. Use 1 - Retail)	715	21.0	0.0	0.062	0.064
West Elevation CMU: Wood-Framed, 1/2" o.c. (Bldg. Use 1 - Retail)	1550	21.0	0.0	0.062	0.064
Double door window: Metal Frame Curtain Wall/Storefront, Perf. Specs., Product ID: Viracon 1" V51-20 Insulating, SHGC 0.23, PF 0.48, (Bldg. Use 1 - Retail) (b)	103	---	---	0.420	0.460
3x windows under awning: Metal Frame Curtain Wall/Storefront, Perf. Specs., Product ID: Viracon 1" V51-20 Insulating, SHGC 0.23, PF 0.48, (Bldg. Use 1 - Retail) (b)	248	---	---	0.420	0.460
2x windows: Metal Frame Curtain Wall/Storefront, Perf. Specs., Product ID: Viracon 1" V51-20 Insulating, SHGC 0.23, PF 0.48, (Bldg. Use 1 - Retail) (b)	165	---	---	0.420	0.460
Tower Window: Metal Frame Curtain Wall/Storefront, Perf. Specs., Product ID: Viracon 1" V51-20 Insulating, SHGC 0.23, PF 0.50, (Bldg. Use 1 - Retail) (b)	359	---	---	0.420	0.460

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.  
 (b) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.  
 (c) Slab-On-Grade proposed and budget U-factors shown in table are F-factors.  
 (d) Thermal spacer block with minimum R-3.3 must be installed above the pan/tilt, and the roof deck secured to the pan/tilt.  
 (e) High albedo roof requirement options: 1) 3-year aged solar reflectance >= 0.55 thermal emittance >= 0.75, 2) 3-year aged solar reflectance index >= 64.0, 3) initial year aged solar reflectance >= 0.70 thermal emittance >= 0.75, 4) initial year aged solar reflectance index >= 82.0.

Envelope Passes: Design 1% better than code

**Envelope Compliance Statement**  
 Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 2015 IECC requirements in COMcheck Version 4.0.3.1, and to comply with the mandatory requirements listed in the Inspection Checklist.

Name - Title: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Project Title: Red Cliffs Plaza  
 Data filename: P:\116025 - Greens Utah Shell\Drawings\Code\2015-COMcheck.cck  
 Report date: 08/21/16  
 Page 2 of 9

**CODE SUMMARY**

**PROJECT INFORMATION:**

PROJECT NAME: RED CLIFFS PLAZA  
 LOCATION: 880 W. RED CLIFFS DRIVE WASHINGTON, UT 84780  
 USE DESCRIPTION: B

**APPLICABLE CODES:** CENTENNIAL, CO (ARAPAHOE COUNTY)

2015 INTERNATIONAL BUILDING CODE (IBC)  
 2014 NATIONAL ELECTRIC CODE (NEC)  
 2015 INTERNATIONAL PLUMBING CODE (IPC)  
 2015 INTERNATIONAL MECHANICAL CODE (IMC)  
 2015 INTERNATIONAL FUEL GAS CODE (IFGC)  
 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)  
 117.1 ANSI (AS REFERENCED IN THE 2015 INTERNATIONAL BUILDING CODE)

**CHAPTER 1: SCOPE AND ADMINISTRATION**

FLOOR AND ROOF DESIGN LOADS: SECTION 106

MAIN LEVEL FLOOR *	100 PSF
--------------------	---------

\* DURABLE FLOOR LIVE LOAD SIGNS MUST BE CONSPICUOUSLY POSTED BY CONTRACTOR. INCLUDE ON EACH SIGN "IT IS UNLAWFUL TO REMOVE OR DEFACE THIS NOTICE." ONE SIGN TO BE POSTED IN FOYER, OTHER TO BE POSTED ON WALL ADJACENT PLATFORM.

**CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS**

CONSTRUCTION TYPE: TABLE 503 TYPE V - B (Non-Sprinkled)

GROSS SQUARE FOOTAGE ALLOWED PER STORY: 15,366 SF (30,732 SF TOTAL)

GROSS SQUARE FOOTAGE PROPOSED: 9,127 SF TOTAL

STORIES (ALLOWED): 1

STORIES (PROVIDED): 1

BUILDING HEIGHT (ALLOWED): 40'-0"

BUILDING HEIGHT (PROVIDED): 24'-0"

TOWER HEIGHT (ALLOWED): 40'-0"

TOWER HEIGHT (PROVIDED): 35'-0"

**CHAPTER 6: TYPES OF CONSTRUCTION (TABLE 601)**

FIRE RESISTIVE RATING REQUIREMENTS FOR BUILDING ELEMENTS

BUILDING ELEMENT	RATING (HRS)
PRIMARY STRUCTURAL FRAME	0
EXTERIOR BEARING WALLS	0
INTERIOR BEARING WALLS	0
EXTERIOR NONBEARING WALLS AND PARTITIONS	0
INTERIOR NONBEARING WALLS AND PARTITIONS	0
FLOOR CONSTRUCTION AND SECONDARY MEMBERS	0
ROOF CONSTRUCTION AND SECONDARY MEMBERS	0

\* FOOTNOTE 6 OF TABLE 601 HAS BEEN APPLIED. WE HAVE SUBSTITUTED A SPRINKLER SYSTEM FOR 1-HR RATED CONSTRUCTION. NO ALLOWABLE AREA INCREASE AND NO ALLOWABLE HEIGHT INCREASE.

**CHAPTER 6: TYPES OF CONSTRUCTION (TABLE 602)**

FIRE RESISTIVE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE

DISTANCE < 10'-0"	1HR
DISTANCE > 30'-0"	NONE

**CHAPTER 8: INTERIOR FINISHES**

EXIT ENCLOSURES AND PASSAGEWAYS CLASS A\*

CORRIDORS CLASS B\*\*

ROOMS AND ENCLOSED SPACES CLASS C\*\*\*

\* FLAME SPREAD 0-25, SMOKE DEVELOPED 0-450  
 \*\* FLAME SPREAD 26-75, SMOKE DEVELOPED 0-450  
 \*\*\* FLAME SPREAD 76-200, SMOKE DEVELOPED 0-450

**CHAPTER 9: FIRE PROTECTION SYSTEMS**

SPRINKLERS: SECTION 903.2.1.3 NOT PROVIDED

MANUAL FIRE ALARM: SECTION 907.2.1 NOT PROVIDED

NOTE: HIGH-PILED COMBUSTIBLE STORAGE NOT TO EXCEED 12'-0" IN HEIGHT; PER IFC CHAPTER 23.

**CHAPTER 10: MEANS OF EGRESS**

OCCUPANT LOAD = (252 OCCUPANTS): TABLE 1004.1.1

MINIMUM EXIT WIDTH: SECTION 1005.1

MAIN LEVEL TOTAL (252 OCC.)

REQ'D	PROV
32"	36"
32"	36"
32"	36"
32"	36"
32"	72"
32"	36"
32"	36"

ACCESSIBLE MEANS OF EGRESS: SECTION 1007.1

TENANT	1	2
TENANT 1	1	2
TENANT 2	1	2
TENANT 3	1	2

COMMON PATH OF EGRESS TRAVEL: SECTION 1014.3

EXIT ACCESS TRAVEL DISTANCE: TABLE 1016.1

TENANT	200'-0"	74'-7"
TENANT 1	200'-0"	74'-7"
TENANT 2	200'-0"	36'-0"
TENANT 3	200'-0"	55'-0"

CORRIDOR FIRE-RESISTANCE RATING: TABLE 1018.1

DEAD ENDS: 1018.4 (NOT TO EXCEED)

MIN. NUMBER OF EXITS PER STORY: TABLE 1021.1

MAIN LEVEL	2	6
MIN. NUMBER OF EXITS FROM BUILDING: TABLE 1021.1	2	6

\* PER SECTION 1028.2 - THE MAIN EXIT IS OF SUFFICIENT WIDTH TO ACCOMMODATE MORE THAN ONE-HALF OF THE OCCUPANT LOAD

**CHAPTER 11: ACCESSIBILITY**

ACCESSIBLE ROUTE TO ALL PUBLIC WAYS: SECTION 1103.1 YES

ENTRIES: SECTION 1105 60% (1 MIN.) REQ'D

**CHAPTER 29: PLUMBING SYSTEMS**

REQ'D: PROV:

MALE (126.5 OCCUPANTS) 1 PER 150 1 WATER CLOSET PROVIDED BY FUTURE TENANTS

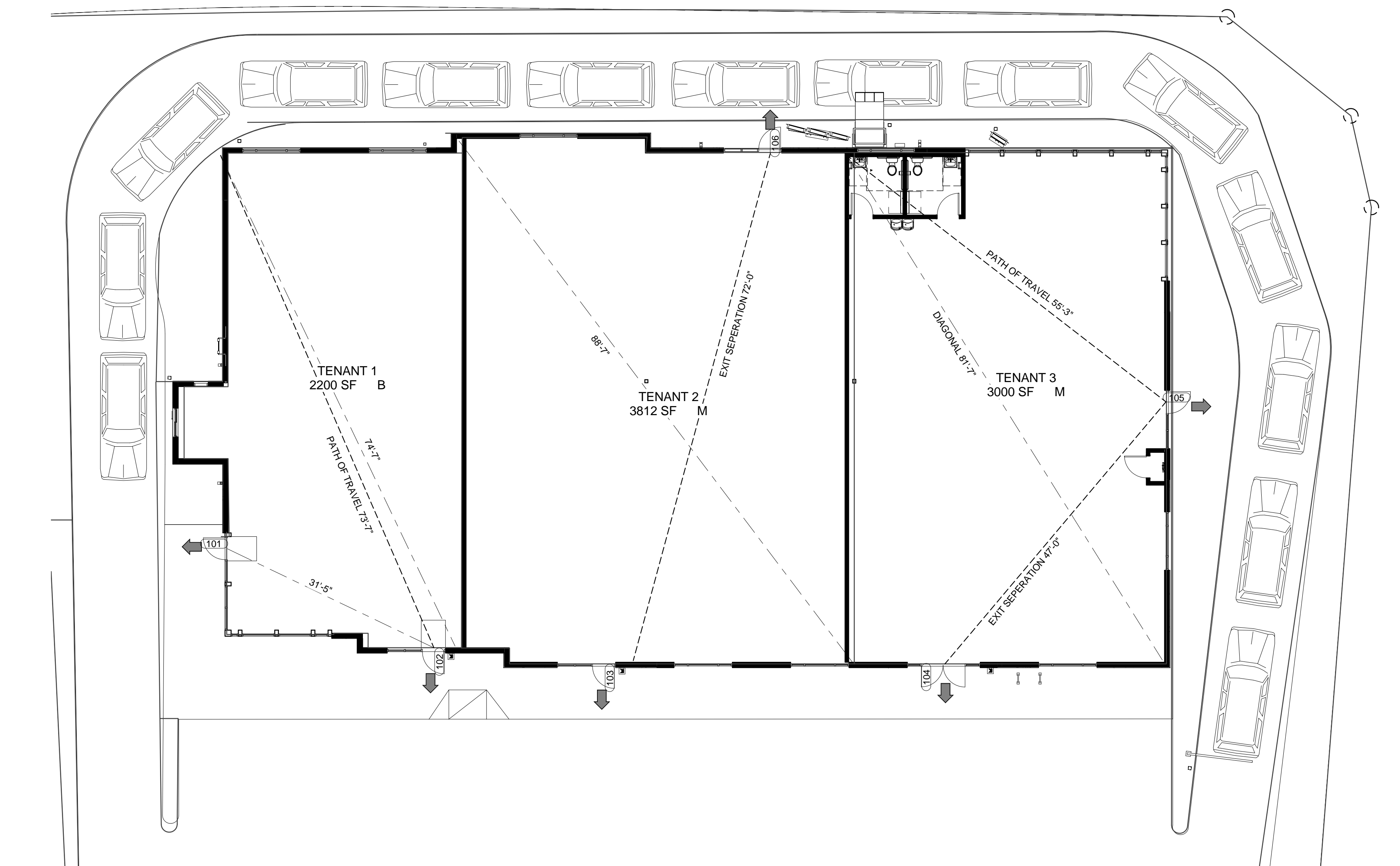
1 PER 200 1 LAVATORY PROVIDED BY FUTURE TENANTS

FEMALE (126.5 OCCUPANTS) 1 PER 75 2 WATER CLOSET PROVIDED BY FUTURE TENANTS

1 PER 200 1 LAVATORY PROVIDED BY FUTURE TENANTS

OTHER PLUMBING (253 OCC) 1 PER 1000 1 DRINKING FOUNTAIN PROVIDED BY FUTURE TENANTS

1 SERVICE SINK 1 SERVICE SINK PROVIDED BY FUTURE TENANTS



**1** CODE PLAN  
 1" = 10'-0"



**RED CLIFFS PLAZA**  
 880 W. Red Cliffs Drive  
 Washington, Utah 84780

PROFESSIONAL SEAL:  
 COPYRIGHT Studio DH Architecture, P.C.  
 Drawings and Specifications are Instruments of Service and as such shall remain the property of the Architect. Any use without written permission of the Architect is unlawful.

REV. #	ISSUED FOR	PERMIT/ID SET	DATE
			8/20/2015

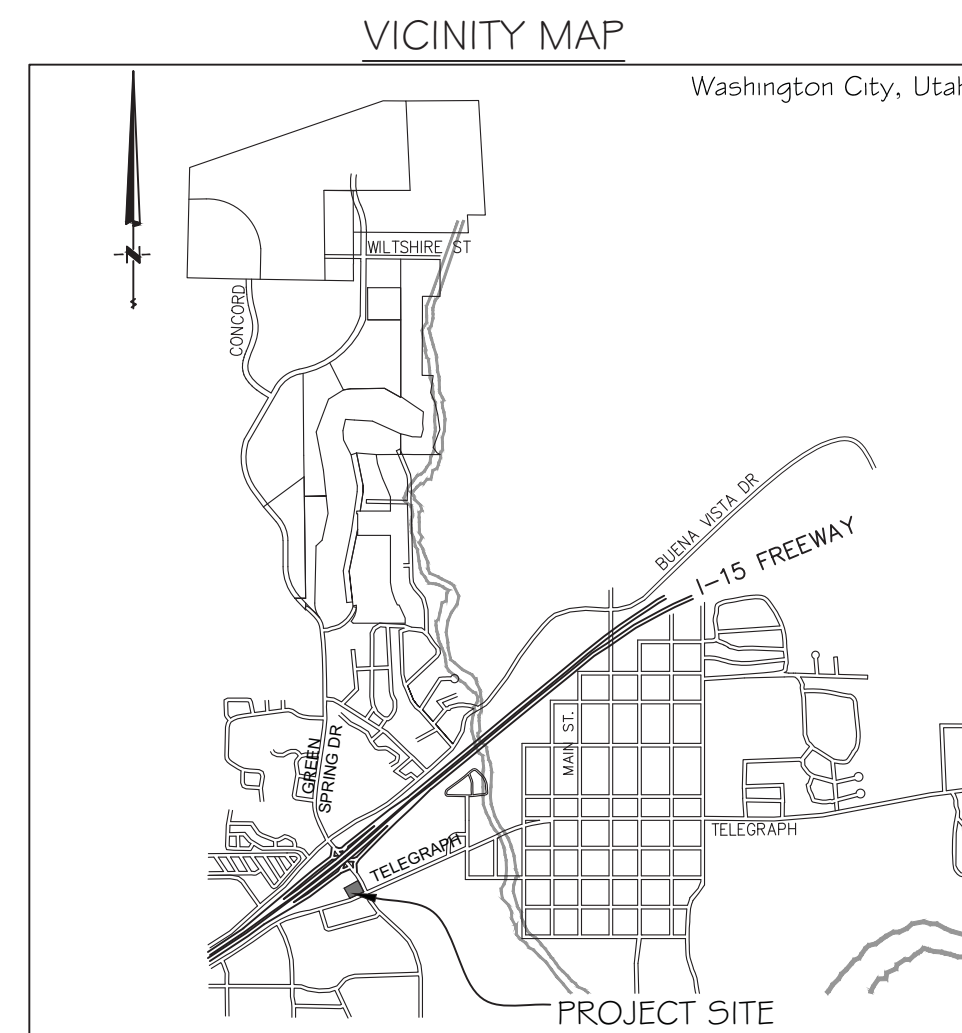
JOB NUMBER: 16025  
 DRAWN BY: SLS  
 APPROVED BY: RD  
 DATE: 7/15/2016  
 Original drawing is 24" x 36" | Scale entries accordingly if reduced  
 SHEET TITLE: CODE PLAN & SUMMARY

SHEET: **G1.3**

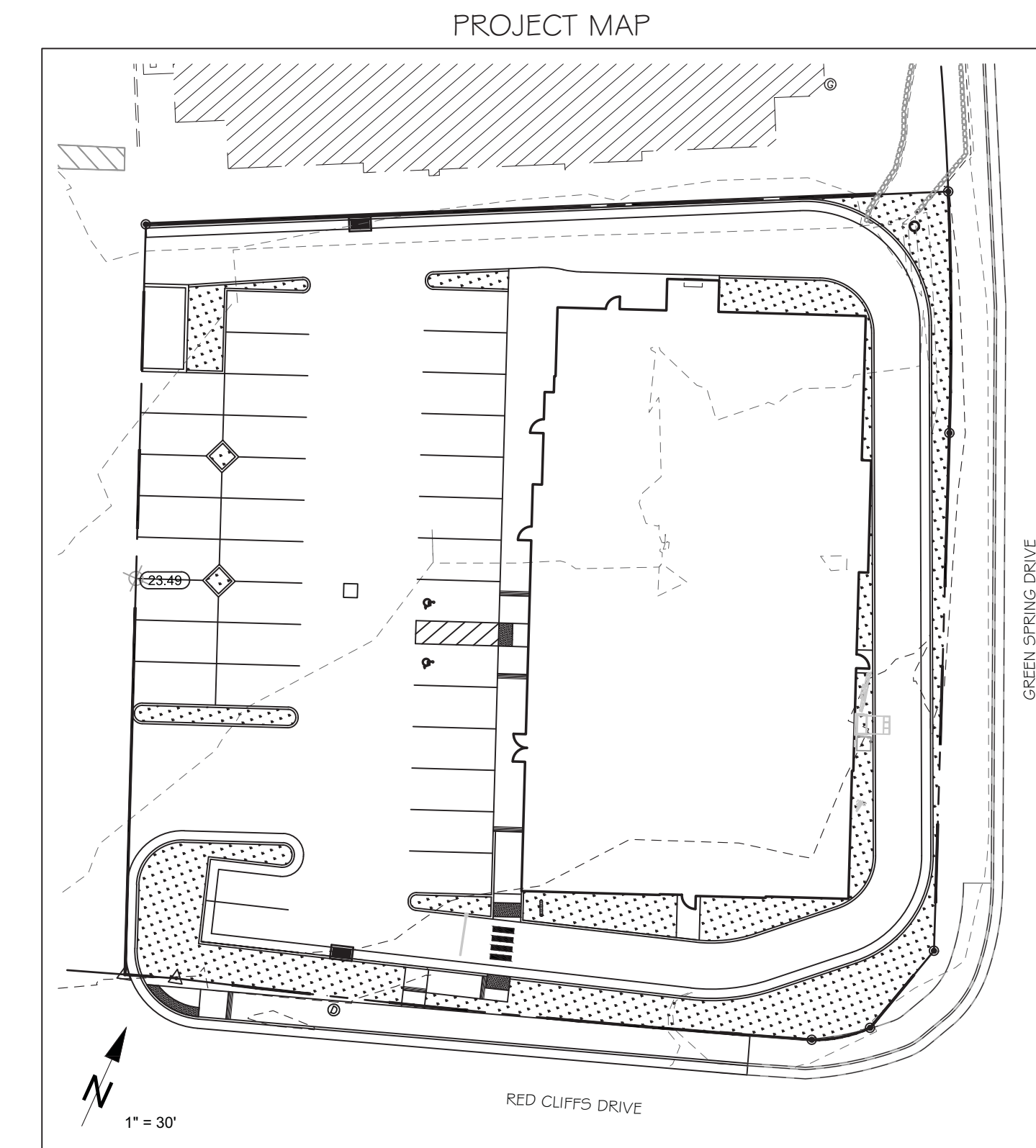
# GREENS RETAIL DEVELOPMENT

## A COMMERCIAL DEVELOPMENT CONSTRUCTION DRAWINGS

LOCATED IN WASHINGTON, UTAH  
SECTION 15, T 42 S, R 15 W, SLB&M



SHEET NO.	GRADING PLANS
C1.1	COVER SHEET
C2.1	DEMOLITION PLAN
C3.1	SITE PLAN
C4.1	GRADING AND DRAINAGE PLAN
C4.2	GRADING AND DRAINAGE DETAILS
C5.1	ADA PATH OF TRAVEL
C6.1	FIRE PROTECTION PLAN
C7.1	DETAILS



**OWNER / DEVELOPER**  
GREENS UTAH ENTERPRISES INC  
9289 RESEARCH DRIVE  
IRVINE, CALIFORNIA 92618  
ATMAN KADAKIA  
949-829-4900

**GENERAL NOTES**

- 1) CONTRACTOR IS RESPONSIBLE TO VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK IN ANY ZONE.
- 2) ALL WORK AND MATERIALS SHALL COMPLY WITH WASHINGTON CITY STANDARD SPECIFICATIONS.
- 3) PROJECTS SHALL INSTALL AN INFORMATIONAL SIGN ON SITE BEFORE CONSTRUCTION BEGINS. THIS SIGN WILL HAVE A MINIMUM SIZE, PLACEMENT LOCATION AND CONTENT INFORMATION WITH THE COMPANY NAME, PHONE CONTACT AND GRADING PERMIT NUMBER.
- 4) PROJECTS SHALL SUBMIT A DUST CONTROL PLAN WITH DETAILS ON EQUIPMENT, SCHEDULING AND REPORTING OF DUST CONTROL ACTIVITIES.
- 5) A MANDATORY PRE-CONSTRUCTION MEETING WILL BE REQUIRED ON ALL PROJECTS PRIOR TO ANY GRUBBING, GRADING OR CONSTRUCTION ACTIVITIES. THE PERMIT HOLDER WILL BE REQUIRED TO NOTIFY ALL DEVELOPMENT SERVICE INSPECTORS.
- 6) FOLLOW APPENDIX 'J' STANDARDS FOUND IN THE IBC.
- 7) ALL OBJECTS SHALL BE KEPT OUT OF THE SIGHT DISTANCE CORRIDORS THAT MAY OBSTRUCT THE DRIVER'S VIEW.

**DUST CONTROL**

THESE DUST CONTROL MEASURES MUST BE OBSERVED AT ALL TIMES:

**EARTH MOVING ACTIVITIES:**

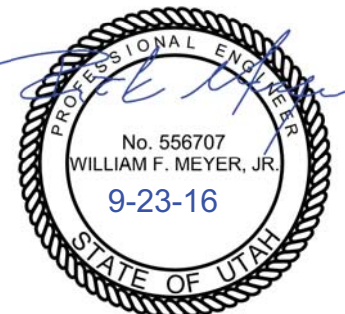
- 1) APPLY WATER BY MEANS OF TRUCKS, HOSES AND/OR SPRINKLERS AT SUFFICIENT FREQUENCY AND QUANTITY, PRIOR TO CONDUCTING, DURING AND AFTER EARTHMOVING ACTIVITIES.
- 2) PRE-APPLY WATER TO THE DEPTH OF THE PROPOSED CUTS OR EQUIPMENT PENETRATION.
- 3) APPLY WATER AS NECESSARY AND PRIOR TO EXPECTED WIND EVENTS.
- 4) OPERATE HAUL VEHICLES APPROPRIATELY IN ORDER TO MINIMIZE FUGITIVE DUST AND APPLY WATER AS NECESSARY DURING LOADING OPERATIONS.

**DISTURBED SURFACE AREAS OR INACTIVE CONSTRUCTION SITES:**

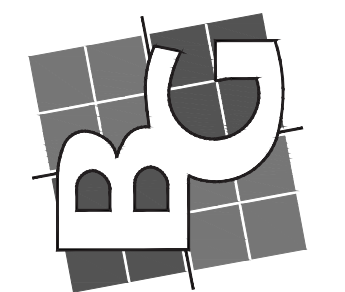
- 1) WHEN ACTIVE CONSTRUCTION OPERATIONS HAVE CEASED, APPLY WATER AT SUFFICIENT FREQUENCY AND QUANTITY TO DEVELOP A SURFACE CRUST AND PRIOR TO EXPECTED WIND EVENTS.
- 2) INSTALL FENCE BARRIER AND/OR "NO TRESPASSING" SIGNS TO PREVENT ACCESS TO DISTURBED SURFACE AREAS.

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Engineers - Planners - Surveyors

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St. George, Utah 84770  
Phone (435) 673-2337



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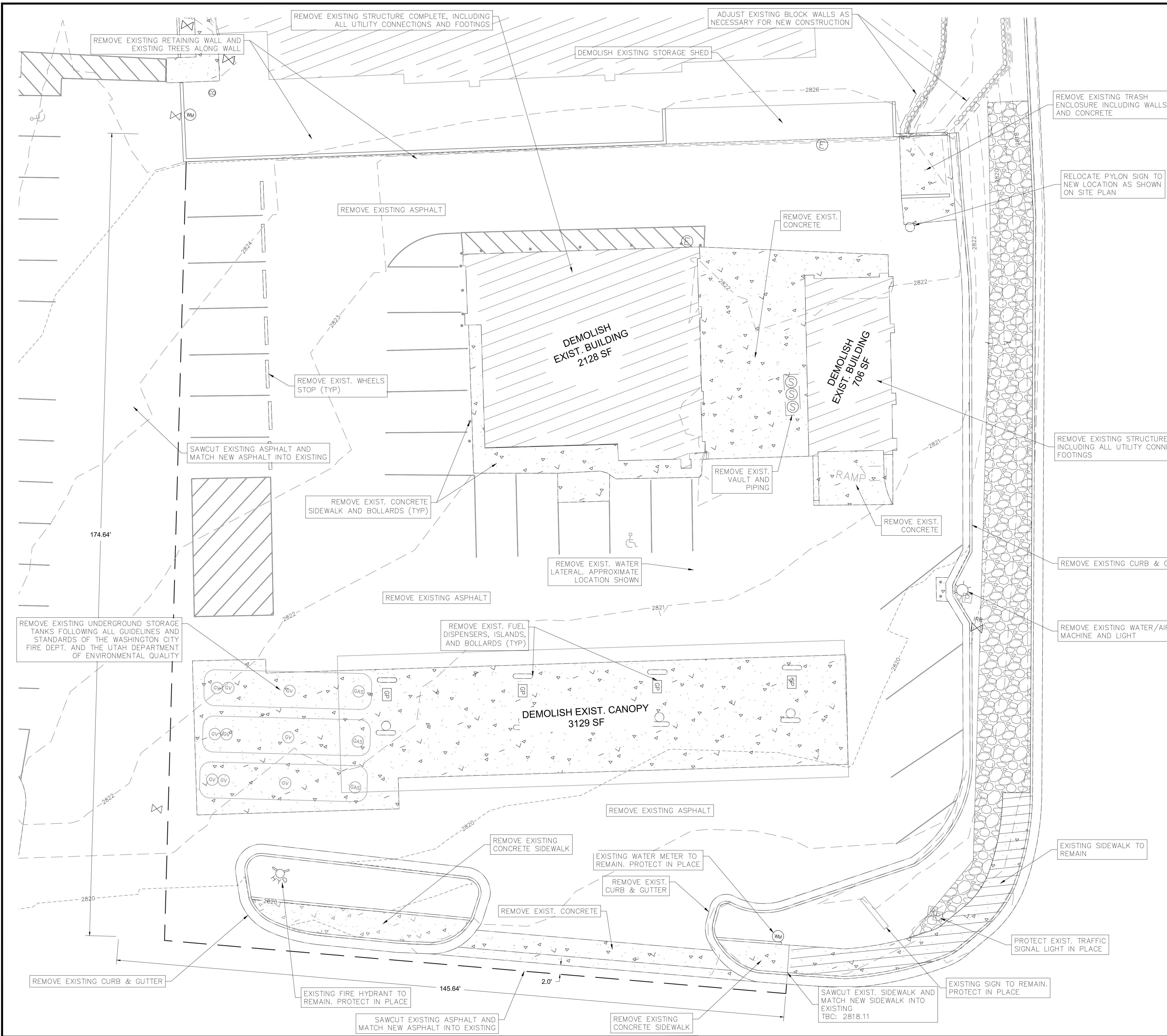


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DRAWN: WFM  
APPROVED:  
SCALE: NOTED  
JOB NO.: 161061

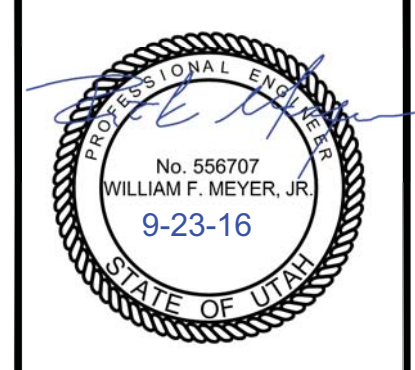
**GREENS RETAIL  
DEVELOPMENT**  
880 W RED CLIFFS DRIVE  
WASHINGTON, UTAH 84780

SHEET  
**C1.1**  
SHEETS

No. Date By Revision



- LEGEND**
- EXISTING 1' CONTOUR
  - - - EXISTING 5' CONTOUR
- NOTES**
1. CONTRACTOR SHALL SHUT OFF AND REMOVE ALL UNDERGROUND UTILITIES SERVING EXISTING FACILITIES ON THE SITE AS REQUIRED FOR THE NEW CONSTRUCTION.
  2. REMOVE ALL ASPHALT, SOD, VEGETATION, CURBS, GUTTER WITHIN THE PROPERTY LINE AS SHOWN AND AS REQUIRED FOR ALL NEW CONSTRUCTION AS SHOWN ON OTHER DRAWINGS.
  3. DEMOLISH BUILDINGS COMPLETELY. REMOVE FOUNDATION WALLS AND ALL BELLOWGRADE WOOD, METAL, AND FLOORING.
  4. REMOVE ABOVEGROUND UTILITIES AND TERMINATE AS APPROVED BY THE UTILITY COMPANY. CAP OFF CONDUITS WITH A MINIMUM OF 24 INCH LONG CONCRETE PLUGS.
  5. UNLESS OTHERWISE SPECIFIED, ALL REMOVED MATERIAL BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OUTSIDE OF THE PROJECT LIMITS.
  6. IMMEDIATELY REMOVE HAZARDOUS WASTE FROM THE PROJECT SITE. DISPOSE OF ALL REFUSE IN A LEGAL MANNER, AT PUBLIC OR PRIVATE DUMPING AREAS.
  7. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT CONDITIONS AT THE SITE PROVIDE FOR WORKPLACE SAFETY, PROTECTION OF THE ENVIRONMENT AND INTEGRITY OF NEARBY STRUCTURES.



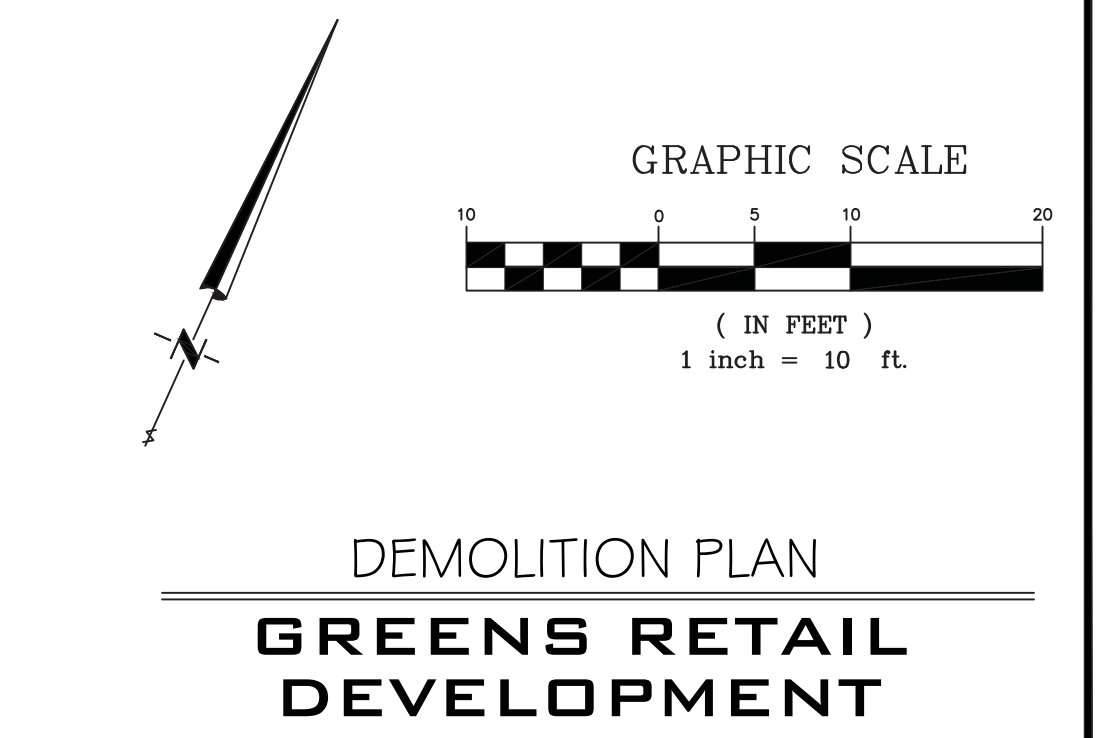
No.	Date	By	Revision

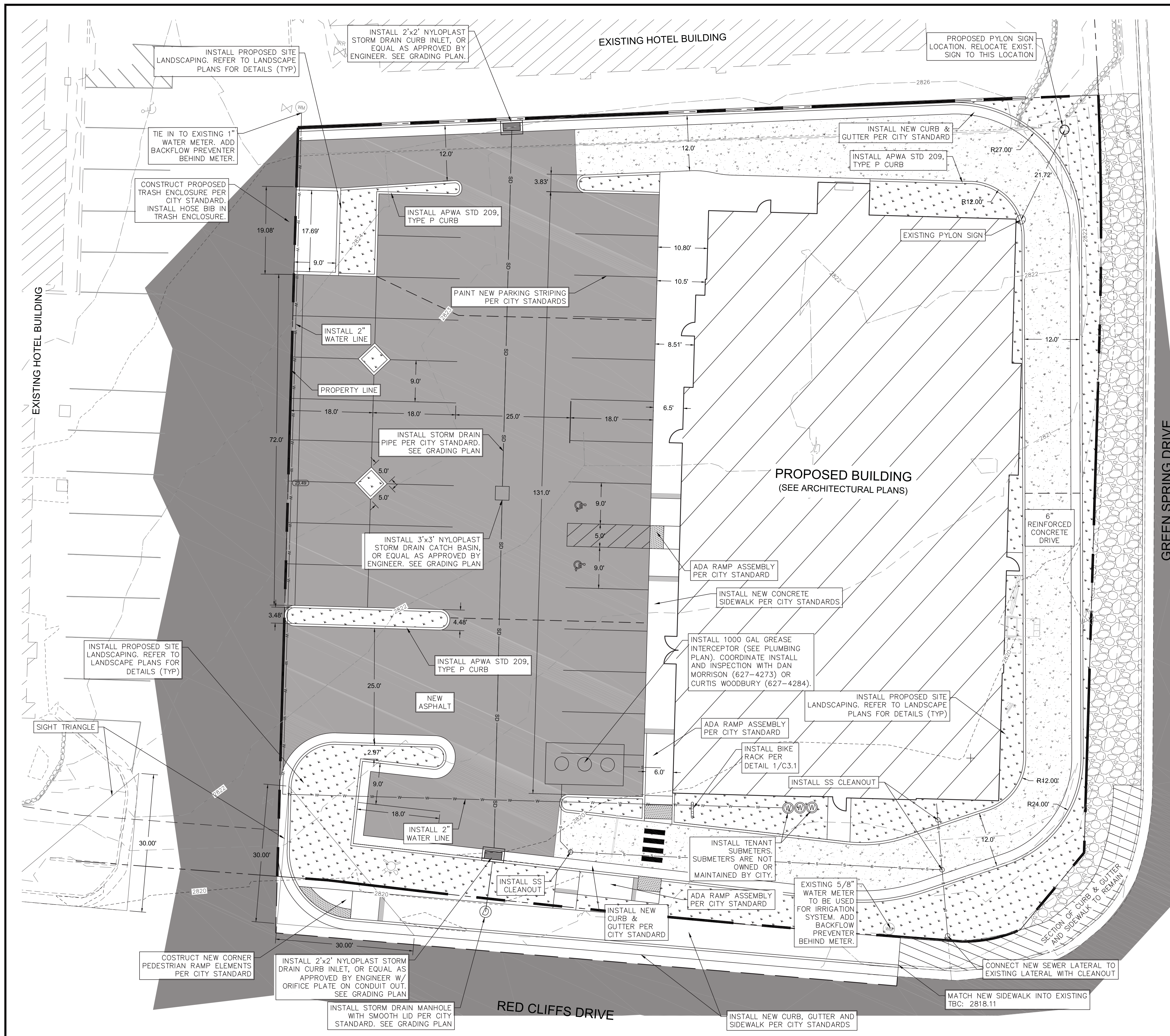
**BUSH & GUDGELL, INC.**  
 Engineers - Planners - Surveyors  
 205 East Tabernacle Suite #4  
 St. George, Utah 84770  
 Phone (435) 673-2337 / Fax (435) 673-3161  
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DATE: SEP. 2016  
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 SCALE: NOTED  
 JOB NO.: 161061

**GREENS RETAIL DEVELOPMENT**  
 880 W RED CLIFFS DRIVE  
 WASHINGTON, UTAH 84780

SHEET  
**C2.1**  
 SHEETS





**SITE DATA**

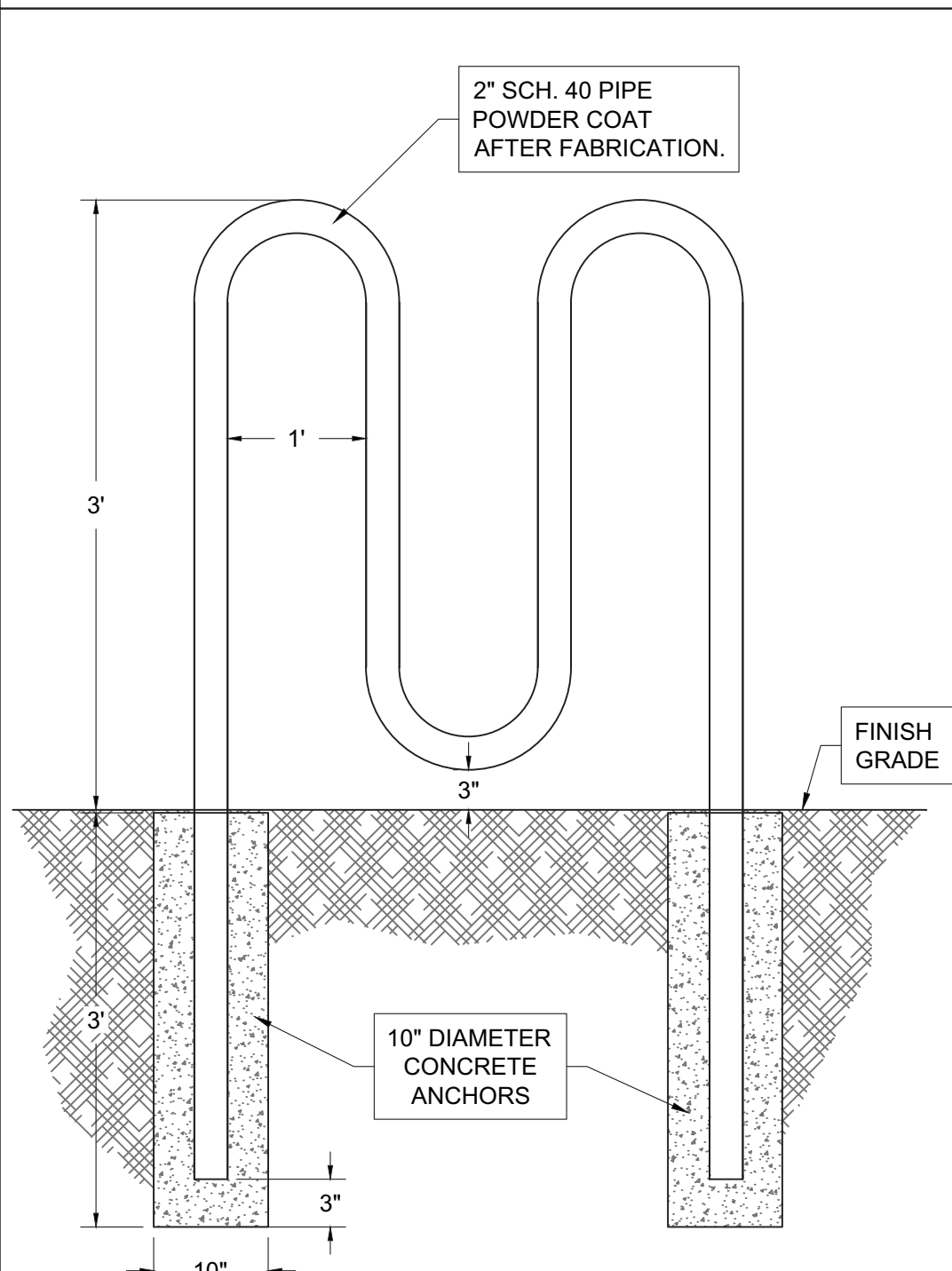
CURRENT ZONING: C2  
 GENERAL PLAN: COMMERCIAL  
 SITE AREA: 30,525 TOTAL SQ. FT. (0.70 ACRES)  
 BUILDING SQUARE FOOTAGE: 9,092 SQ. FT.  
 BUILDING USE: RETAIL  
 LOT COVERAGE: 31%  
 SETBACKS: FRONT = 20 FEET  
 SIDE = 0 FEET  
 REAR = 0 FEET  
 BUILDING HEIGHT: 35' OR LESS  
 PARKING: PROVIDED = 32  
 REQUIRED = 37 (9,092/250)  
 LANDSCAPING: 14.5% PROVIDED 4,441 SQ. FT.

**LEGEND**

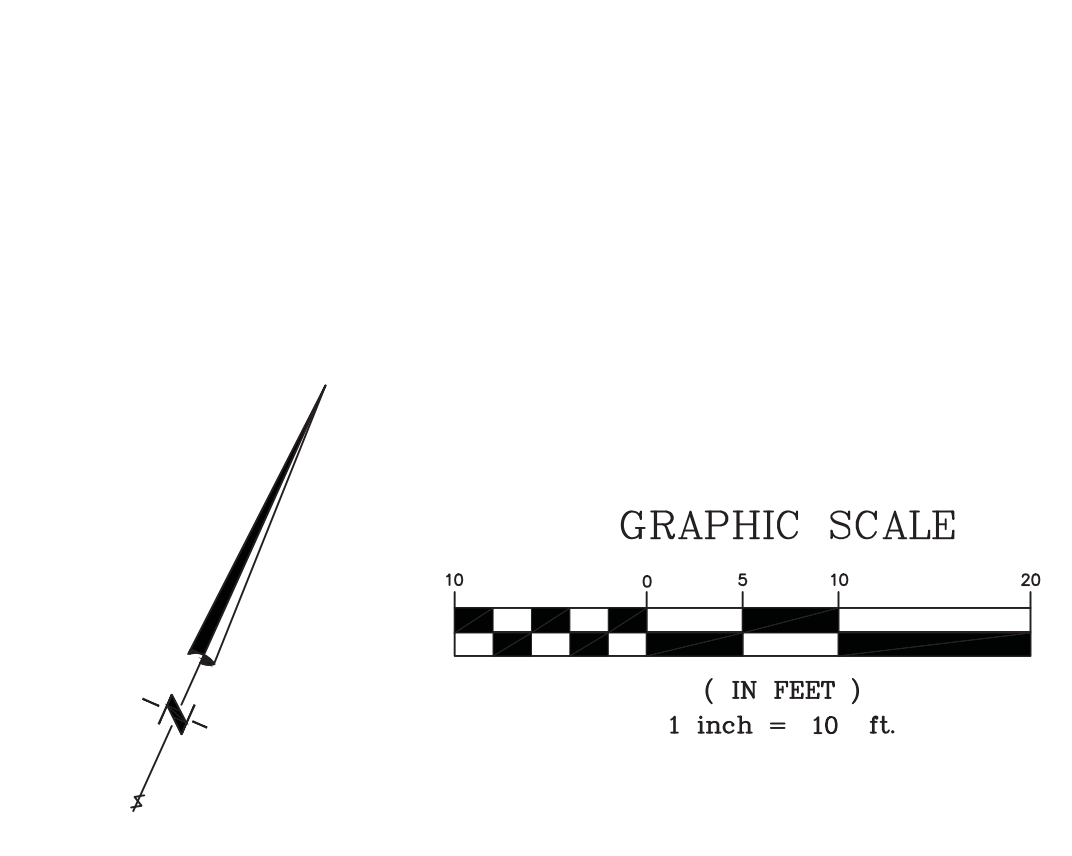
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 - - - EXISTING 5' CONTOUR  
 --- PROPOSED 2' CONTOUR  
 --- PROPOSED 10' CONTOUR

**NOTES**

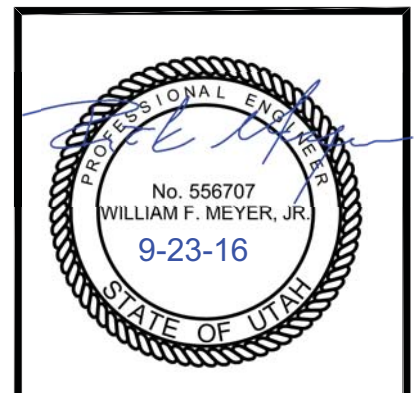
- SIGNAGE IS UNDER SEPARATE PERMIT.
- SEE GEOTECHNICAL REPORT AND ARCHITECTURAL PLANS FOR FOUNDATION AND PAD DETAIL.



**1 BICYCLE RACK DETAIL**  
 - NTS -

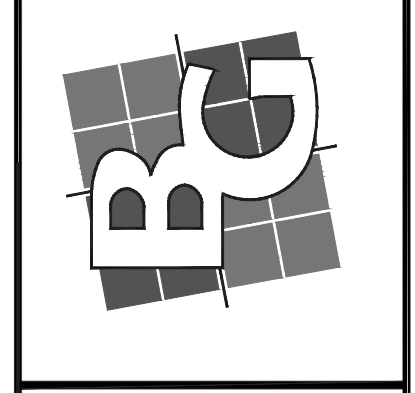


**SITE PLAN**  
**GREENS RETAIL DEVELOPMENT**



No.	Date	By	Revision

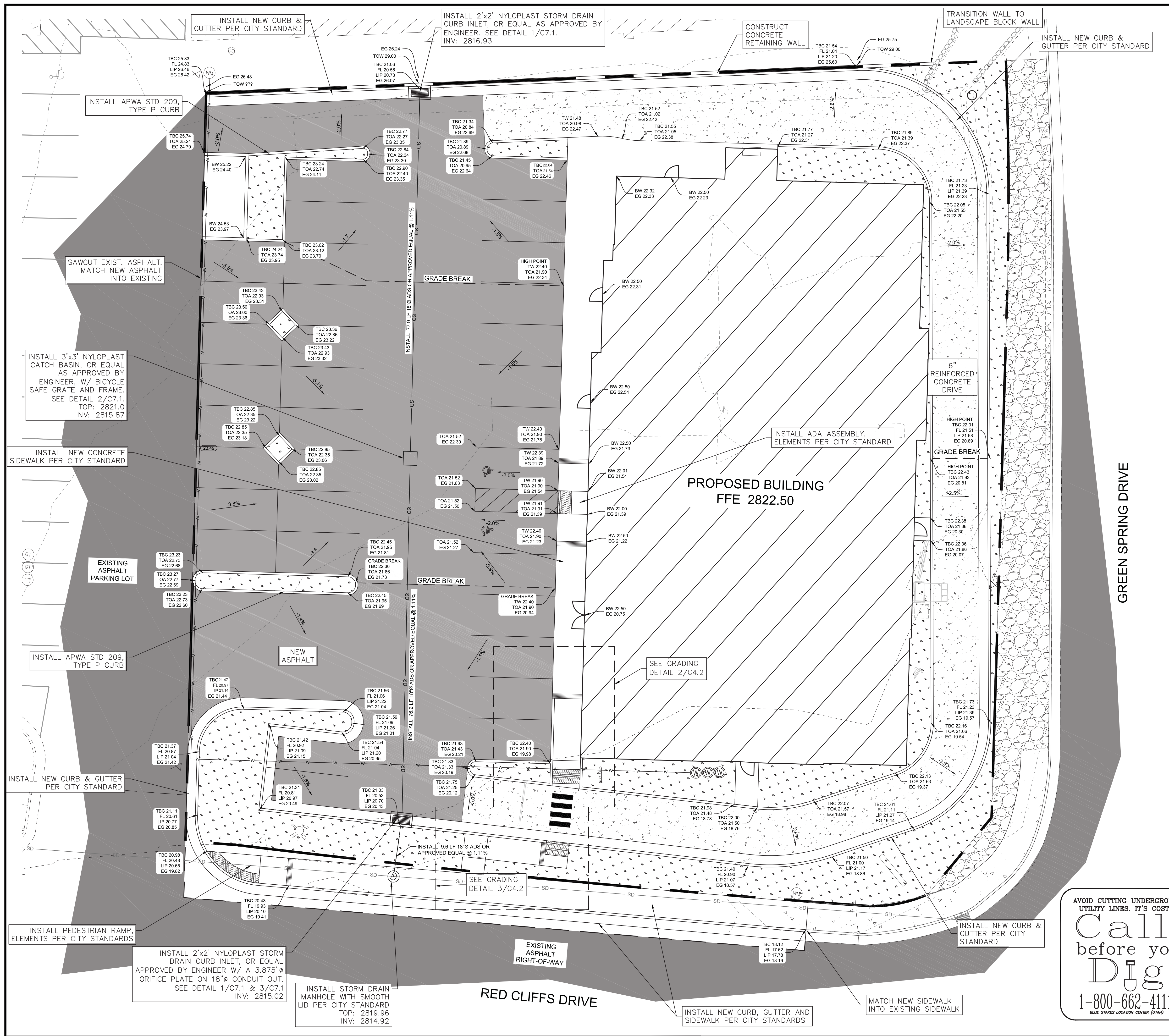
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 JOB NO.: 161061

**GREENS RETAIL DEVELOPMENT**  
 880 W RED CLIFFS DRIVE  
 WASHINGTON, UTAH 84780

SHEET  
**C3.1**  
 SHEETS



**LEGEND**

- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED 10' CONTOUR
- FLOW DIRECTION
- EXISTING ASPHALT
- NEW ASPHALT

**NOTES**

APPROXIMATELY 366 CU.YD. OF CUT, 769 CU.YD. OF FILL AND 403 CU.YD. OF IMPORT MATERIAL IS REQUIRED (FOR GRADING PERMIT ONLY) THE CONTRACTOR SHOULD VERIFY THE QUANTITIES FOR COMPLETION OF WORK. QUANTITIES ARE BASED ON FINISH GRADE OF ROADS & CATCH SLOPES.

ALL IMPORTED STRUCTURAL FILL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO DELIVERY TO THE SITE. ALL IMPORTED STRUCTURAL FILL SHALL BE PLACED IN 8-INCH LOOSE HORIZONTAL LIFTS AND COMPACTED TO A MINIMUM OF 95 PERCENT OF MAXIMUM DRY DENSITY (ASTM D-1557).

ALL EXCAVATION, GRADING AND FILL OPERATIONS WITHIN THE BUILDING AREA SHOULD BE OBSERVED BY THE GEOTECHNICAL ENGINEER TO VERIFY SUB-SOIL CONDITIONS AND DETERMINE ADEQUACY OF SITE PREPARATION, SUITABILITY OF FILL MATERIALS AND COMPLIANCE WITH COMPACTION REQUIREMENTS.

THE CONTRACTOR SHALL PROVIDE SUITABLE EQUIPMENT TO CONTROL DUST AND AIR POLLUTION CAUSED BY CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL ALSO PROVIDE SUITABLE MUD AND DIRT CONTAINMENT TO MAINTAIN THE WORK SITE, ACCESS ROADWAYS AND ADJACENT PROPERTIES IN A CLEAN CONDITION.

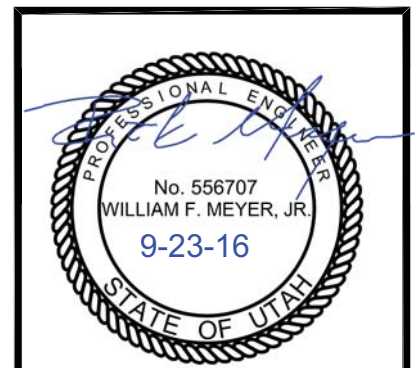
ALL EXCAVATION AND GRADING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF WASHINGTON CITY AND APPENDIX K OF THE UNIFORM BUILDING CODE, 1994 EDITION, AND THE SPECIFICATIONS AND REQUIREMENTS INCLUDED IN THE GEOTECHNICAL STUDY.

GEOTECHNICAL ENGINEER TO PROVIDE GRADING COMPLETION REPORT TO CONFIRM WORK HAS BEEN PERFORMED IN CONFORMANCE WITH THEIR RECOMMENDATIONS.

OWNER IS RESPONSIBLE FOR ALL ON-SITE DRAINAGE AND DETENTION.

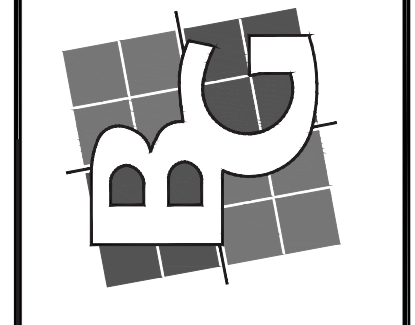
FIRE NOTE: BUILDING TO BE PROTECTED PER NFPA 13 AND NFPA 72. THE UNDERGROUND, POST INDICATING VALVE (PIV) AND FIRE DEPARTMENT CONNECTION (FDC) LOCATIONS TO BE DETERMINED AT BUILDING PERMIT. THE LOCATION AND SIZE OF THE UNDERGROUND FIRE SUPPLY LINE, PIV AND FDC SHALL BE DETERMINED THROUGH CONSULTING WITH THE ARCHITECT AND FIRE SPRINKLER CONTRACTOR.

ADA NOTE: CONTRACTOR TO VERIFY ALL SLOPES ARE LESS THAN 1:20 AND CROSS SLOPE 1:48 BEFORE PLACING ANY PERMANENT SURFACE IN THE HANDICAP PARKING OR ROUTE AREAS AS PER 2009 IBC. CONTACT ENGINEER FOR ANY QUESTION OR CONCERNS.



No.	Date	By	Revision

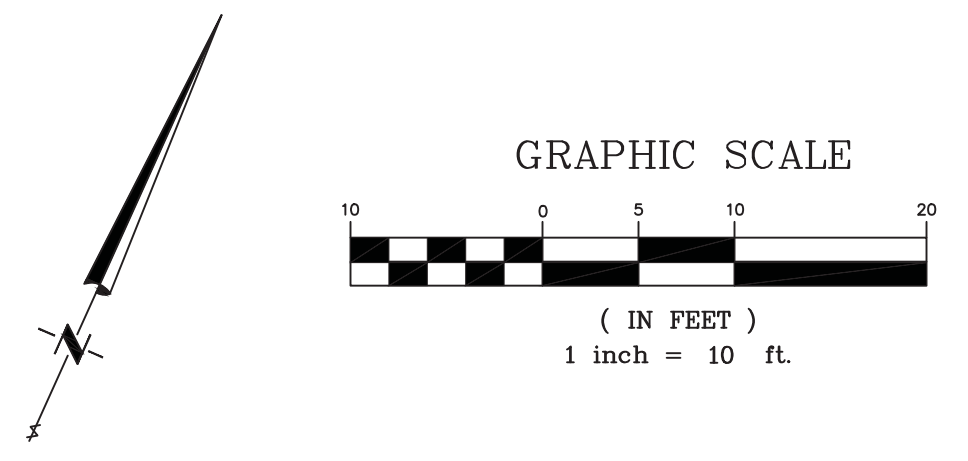
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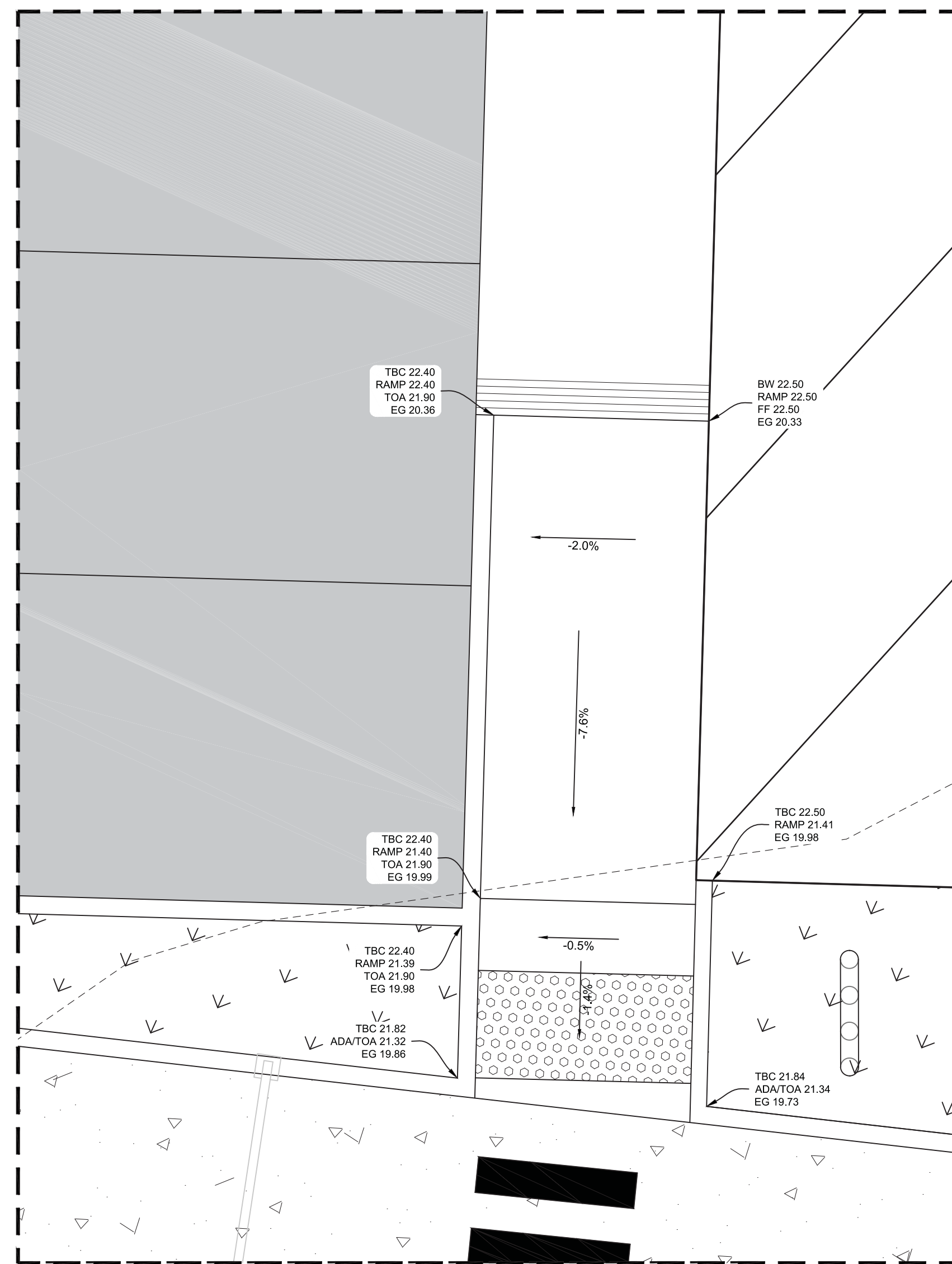
**GREENS RETAIL DEVELOPMENT**  
 880 W RED CLIFFS DRIVE  
 WASHINGTON, UTAH 84780

AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY  
**Call before you Dig**  
 1-800-662-4111  
BLUE STAKES LOCATION CENTER (UTAH)

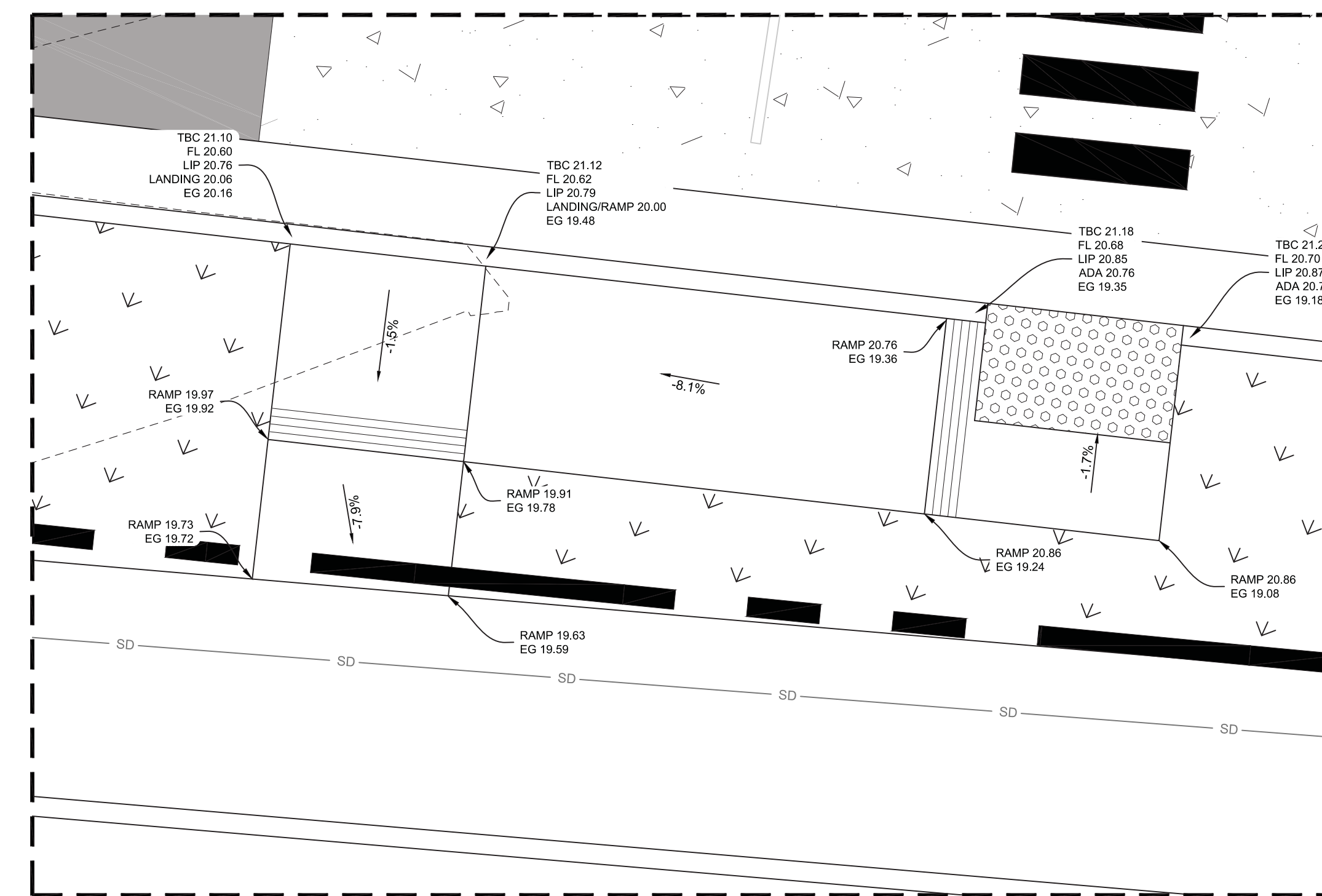


GRADING & DRAINAGE PLAN  
**GREENS RETAIL DEVELOPMENT**

SHEET  
**C4.1**  
 SHEETS



GRADING DETAIL 2

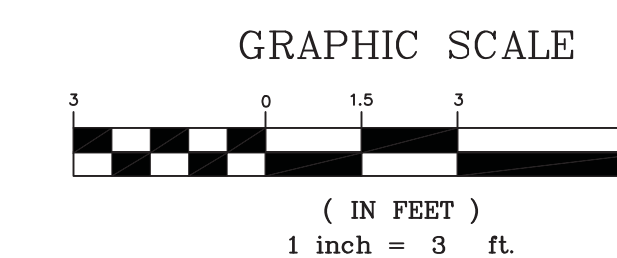


GRADING DETAIL 3

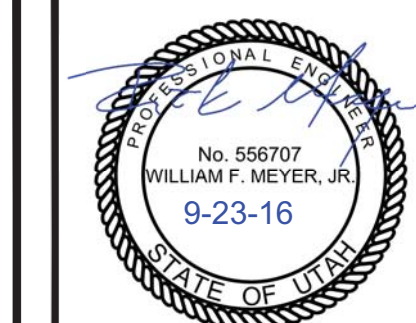
NOTES

ADA NOTE:  
CONTRACTOR TO VERIFY ALL SLOPES ARE LESS THAN 1:20 AND CROSS SLOPE 1:48 BEFORE PLACING ANY PERMANENT SURFACE IN THE HANDICAP PARKING OR ROUTE AREAS AS PER 2009 IBC. CONTACT ENGINEER FOR ANY QUESTION OR CONCERNS.

AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY.  
**Call before you Dig**  
1-800-662-4111  
BLUE STAKES LOCATION CENTER (UTAH)

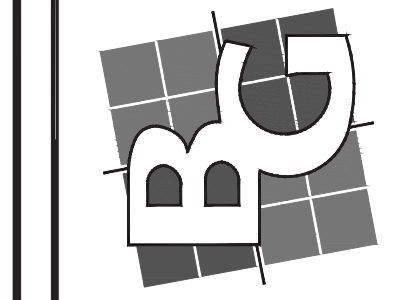


GRADING DETAILS  
**GREENS RETAIL DEVELOPMENT**



No.	Date	By	Revision

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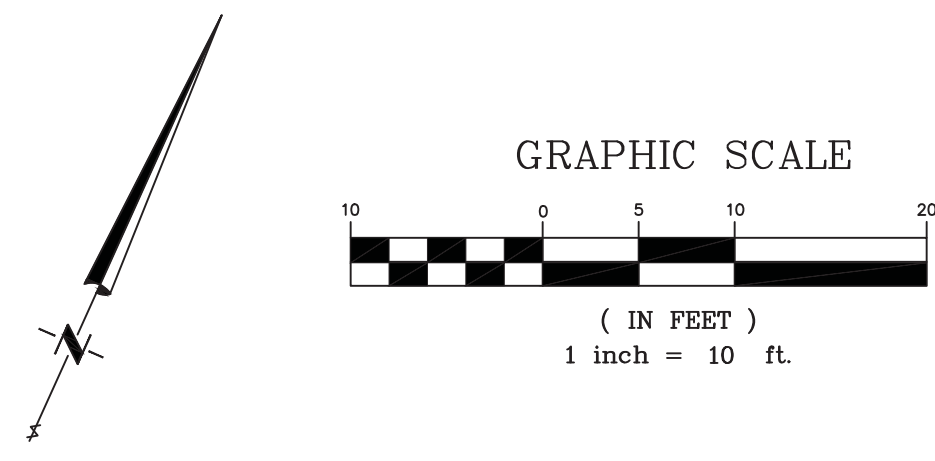
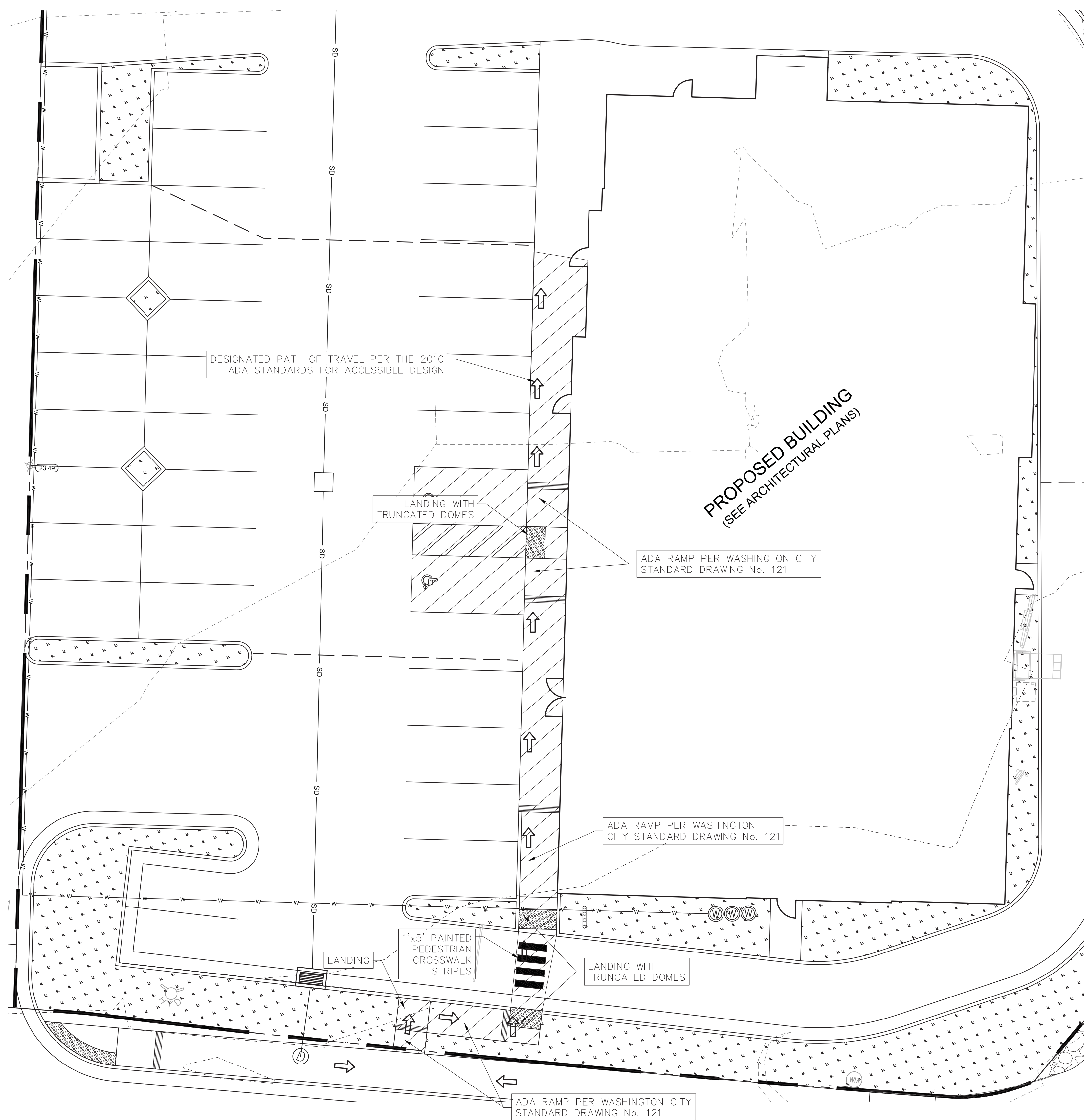
DATE: SEP, 2016  
DRAWN: WFM  
APPROVED:  
SCALE: NOTED  
JOB NO.: 161061

**GREENS RETAIL DEVELOPMENT**  
880 W RED CLIFFS DRIVE  
WASHINGTON, UTAH 84780

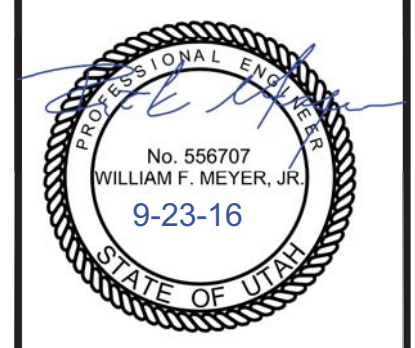
SHEET  
**C4.2**  
SHEETS



LEGEND	
	EXISTING 2' CONTOUR
	EXISTING 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED 10' CONTOUR

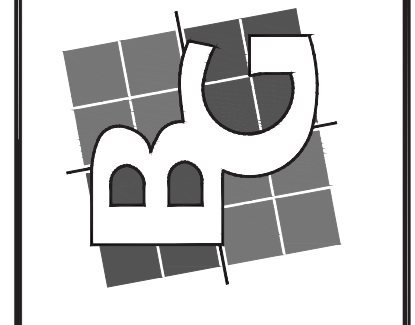


ADA PATH OF TRAVEL  
**GREENS RETAIL DEVELOPMENT**



No.	Date	By	Revision

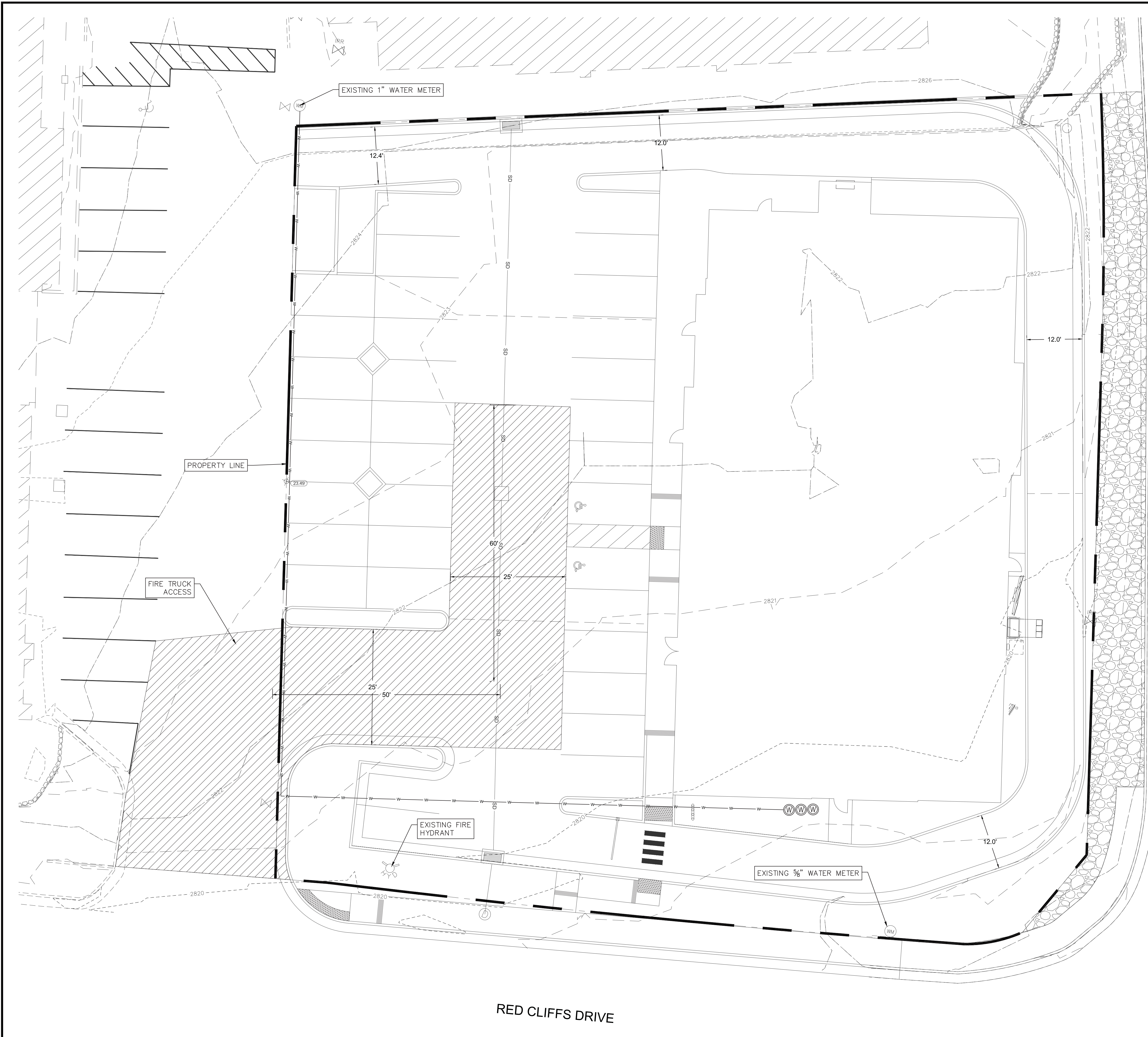
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**GREENS RETAIL DEVELOPMENT**  
 880 W RED CLIFFS DRIVE  
 WASHINGTON, UTAH 84780

SHEET  
**C5.1**  
 SHEETS



**LEGEND**

---	EXISTING 1' CONTOUR
- - -	EXISTING 5' CONTOUR
---	PROPOSED 2' CONTOUR
---	PROPOSED 10' CONTOUR

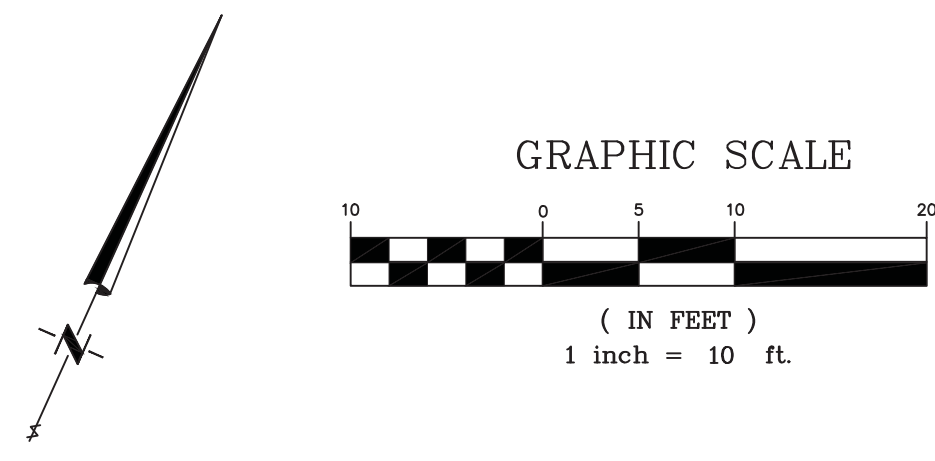
- NOTES:**
1. REQUIRED FIRE FLOW 1500 GPM WITH 20 PSI RESIDUAL PRESSURE.
  2. FIRE DEPARTMENT ACCESS TO MEET REQUIREMENTS OF CHAPTER 5 AND APPENDIX D OF IFC 2012.
  3. HIGH PILED COMBUSTIBLES OR EXCEEDING MAXIMUM ALLOWABLE QUANTITIES WILL REQUIRE SPRINKLER SYSTEM.

**IBC CODE ANALYSIS**  
(ABBREVIATED FOR FIRE, FOR FULL ANALYSIS, SEE ARCHITECTURAL PLANS)

BUILDING HEIGHT	35'
TOTAL SQUARE FOOTAGE	9127 SQ FT
SQUARE FOOTAGE PER FLOOR	9127 SQ FT
CONSTRUCTION TYPE	V
OCCUPANCY USE GROUP	B / M
OCCUPANT LOAD	UNIT 1: B - 49 UNIT 2: M - 30 UNIT 3: M - 36 NOTE: 1-HOUR FIRE WALL BETWEEN UNITS 1 AND 2
STORAGE	SEE NOTE 3 ABOVE
FIRE PROTECTION FEATURES	EMERGENCY LIGHTING

GREEN SPRING DRIVE

RED CLIFFS DRIVE

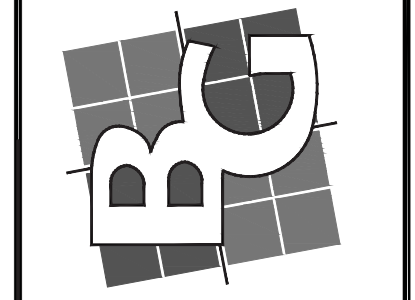


FIRE PROTECTION PLAN  
**GREENS RETAIL DEVELOPMENT**



No.	Date	By	Revision

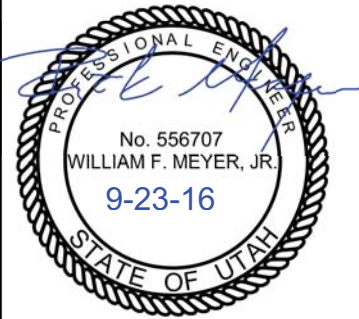
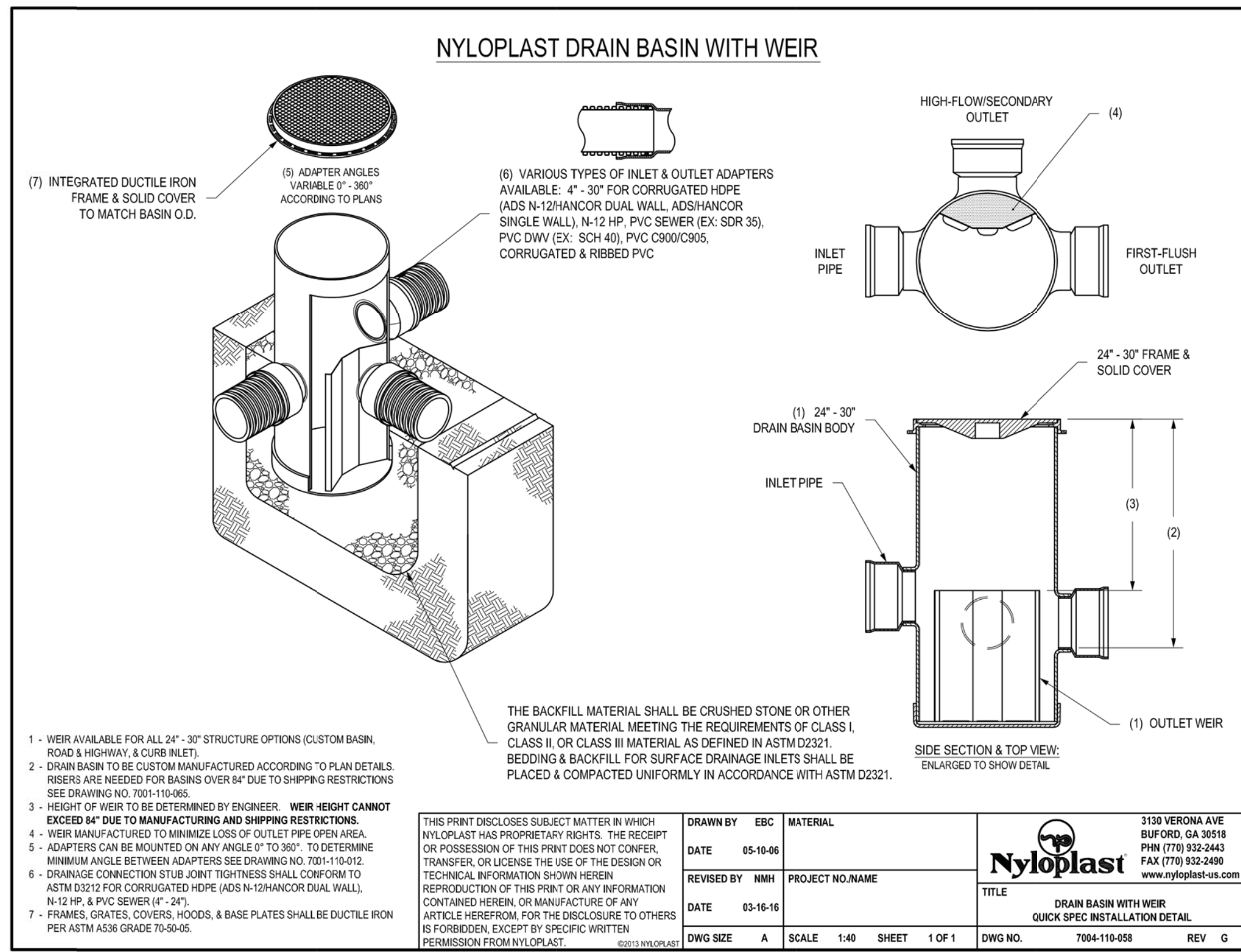
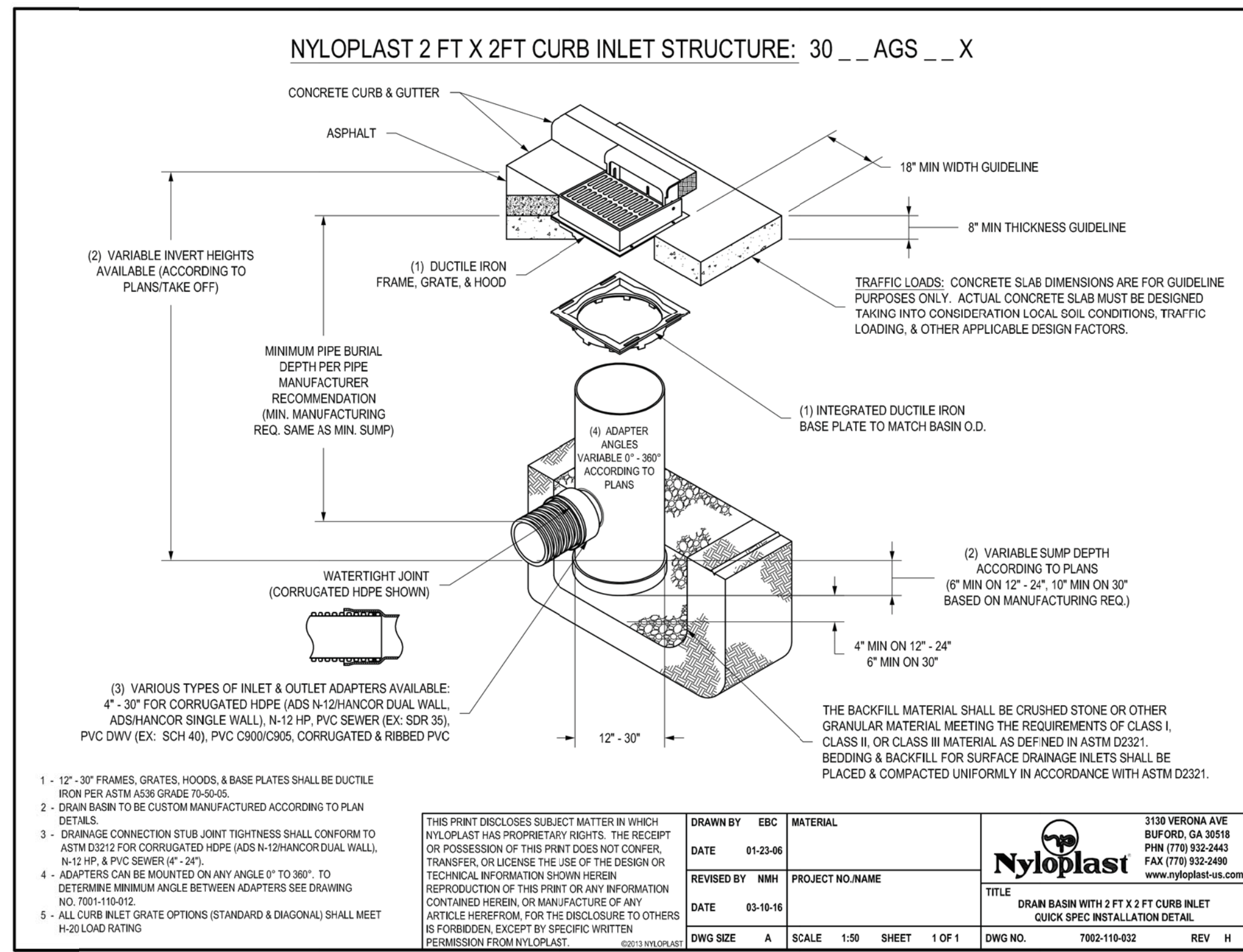
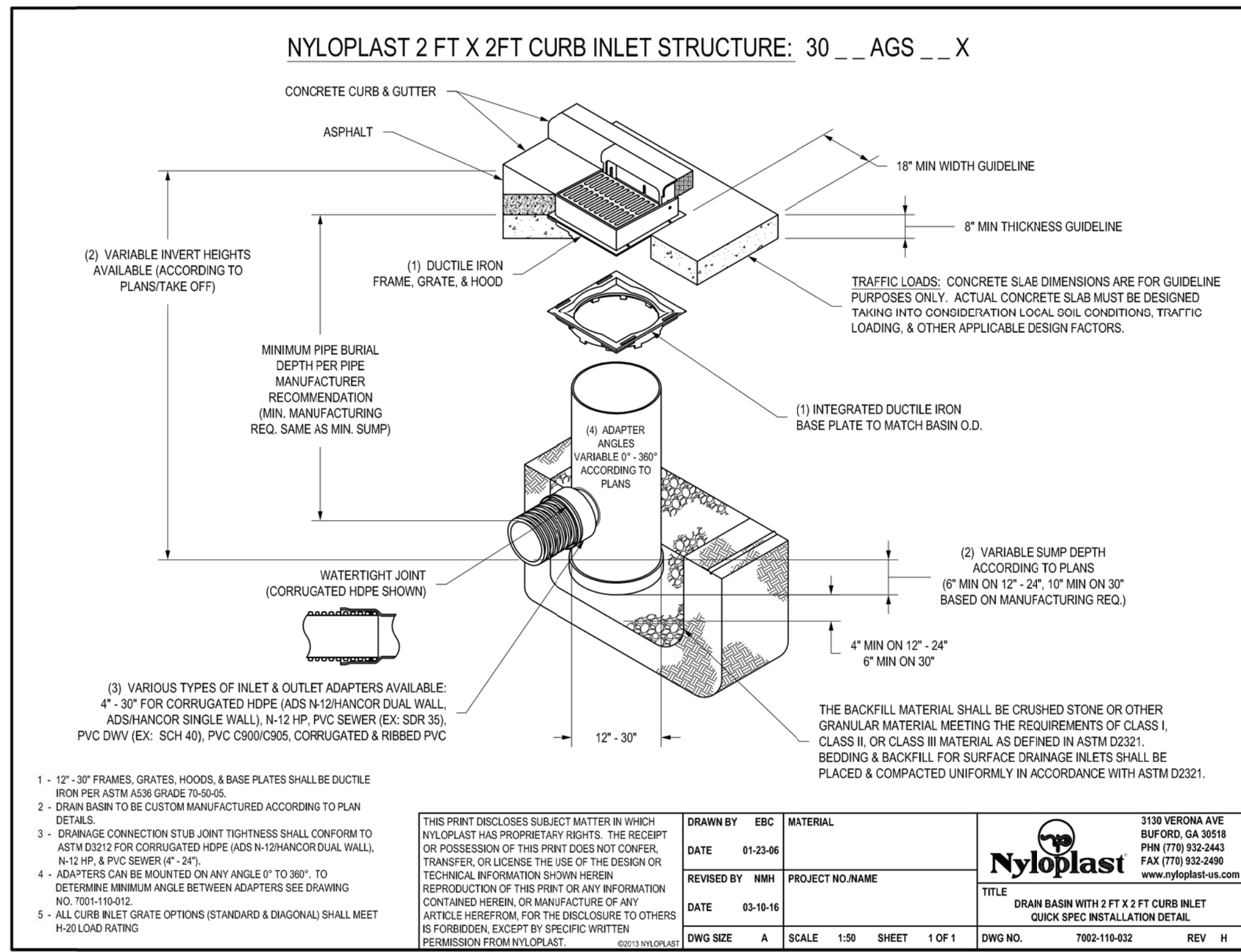
**BUSH & GUDGELL, INC.**  
Engineers - Planners - Surveyors  
205 East Tabernacle Suite #4  
St. George, Utah 84770  
Phone (435) 673-2337 / Fax (435) 673-3161  
www.bushandgudgell.com



DATE: SEP. 2016  
DRAWN: WFM  
APPROVED:  
SCALE: NOTED  
JOB NO.: 161061

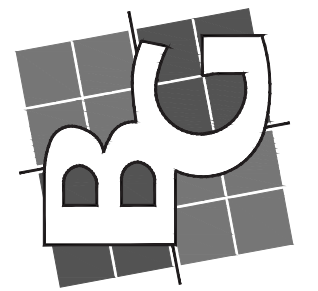
**GREENS RETAIL DEVELOPMENT**  
880 W RED CLIFFS DRIVE  
WASHINGTON, UTAH 84780

SHEET  
**C6.1**  
SHEETS



No.	Date	By	Revision

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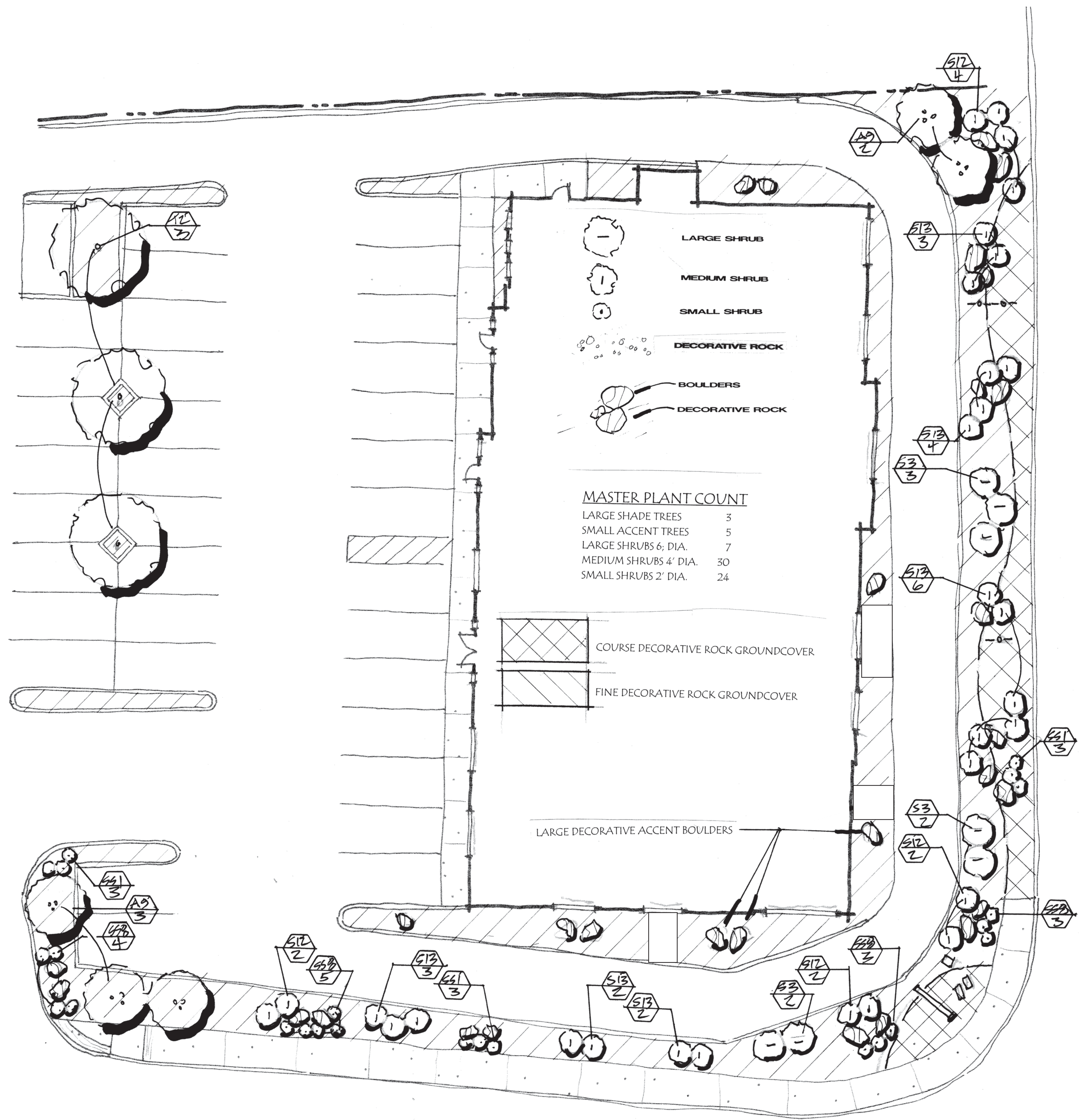


DATE: SEP 2016  
DRAWN: WFM  
APPROVED:  
SCALE: NOTED  
JOB NO.: 161061

**GREENS RETAIL DEVELOPMENT**  
880 W RED CLIFFS DRIVE  
WASHINGTON, UTAH 84780

# RED CLIFFS CORNER PLAZA

Washington, Utah  
Project 1603.696

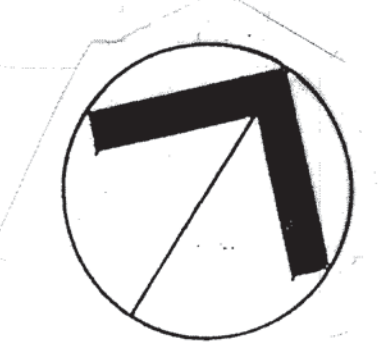


**PLANT LIST**

KEY	BOTANICAL NAME	COMMON NAME	SIZE
<b>TREES:</b>			
T1	Acacia	Sweet Acacia	24" box
T2	Fraxinus greggii	Ash Tree	24" box
T3	Morus alba	Fruitless Mulberry Tree	24" box
T4	Phoenix dactylifera	Date Palm	
T5	Pinus edulicaria	Mondell Pine	24" Box
T6	Quercus Virginiana	Live Oak	24" Box
T7	Rhus lancia	African Sumac	24" Box
<b>PALMS:</b>			
P1	Phoenix dactylifera	Date Palm	Ht. shown
P2	Trachycarpus fortunei	Wind Mill Palm	Ht. indicated
P2	Washington filifera	Mexican Fan Palm	Ht. indicated
<b>ACCENT TREES:</b>			
A1	Albizia julibrissin	Silk Tree	24" Box
A2	Chilopsis linearis	Desert Willow	24" Box
A3	Chitalpa tashkentensis	Pink Dawn chitalpa tree	24" Box
A4	Lagerstroemia indica	Crape Myrtle	24" Box
A5	Ligustrum japonicum	Japanese Privet	24" Box
A6	Photinia 'fraseri'	Photinia	24" Box
A7	Prunus cerasifera	Purple leaf plum	24" Box
A8	Prunus serrulata	Flowering Cherry	24" Box
A9	Pyrus calleryana	Evergreen Pear	24" Box
A10	Robinia ambigua 'Purple Robe'	Purple Robe Locust	24" Box
<b>CACTI AND ACCENT PLANT</b>			
C1	Dasyliirion spp.	Desert Spoon	5 Gal
C2	Ferocactus spp.	Barrel Cactus	5 Gal
C3	Fouquieria splendens	Ocotillo	15 Gal
C4	Hesperaloe spp.	Hesperaloe	5 Gal
<b>LARGE SHRUBS (6' Dia.)</b>			
S1	Caesalpinia gilliesii	Mexican Bird of Paradise	15 Gal
S2	Fouquieria splendens	Ocotillo	15 Gal
S3	Lagerstroemia indica	Crape myrtle - shrub form	15 Gal
S4	Pennisetum setaceum	Deer Grass	15 Gal
S5	Ruellia peninsularis	Baja Ruellia	15 Gal
<b>MEDIUM SHRUBS (4' Dia.)</b>			
S6	Baccharis spp.	Desert Broom	5 Gal
S7	Cotoneaster Glaucophyllus	Gray Cotoneaster	5 Gal
S8	Ferocactus species	Barrel cactus	5 Gal
S9	Ilex 'Dwarf Youpan'	Dwarf Youpan Holley	5 Gal
S10	Nandina domestica	Heavenly Bamboo	5 Gal
S11	Nerium oleander 'Dwarf'	Dwarf Red Oleander	5 Gal
S12	Rhaphiolepis indica	Pink Lady Rhaphiolepis	5 Gal
S13	Rosmarinus spp.	Rosemary	5 Gal
S14	Salvia greggii	Red Autumn Sage	5 Gal
S15	Yucca 'Red'	Red Yucca	5 Gal
<b>SMALL SHRUBS &amp; COLOR ACCENTS (2' Dia. Or less)</b>			
SS1	Agapanthus africanus	Dwarf lily of the Nile	1 Gal
SS2	Baccharis species	Baccharis	1 Gal
SS3	Chrysothamnus nauseosus	Rabbit Brush	1 Gal
SS4	Dalea species	Dalea	1 Gal
SS5	Dasyliirion wheeleri	Desert Spoon	1 Gal
SS6	Desloperma varieties	Ice Plant	1 Gal
SS7	Diets bicolor	Fortnight lily	1 Gal
SS8	Rhaphiolepis 'Ballerina'	Rhaphiolepis	1 Gal
SS9	Rosmarinus off. 'Prostratus'	Prostrate Rosemary	1 Gal
SS10	Santolina varieties	Grey/Green Santolina	1 Gal
SS11	Verbena peruviana	Peruvian Verbena	1 Gal

## MASTER LANDSCAPE PLAN

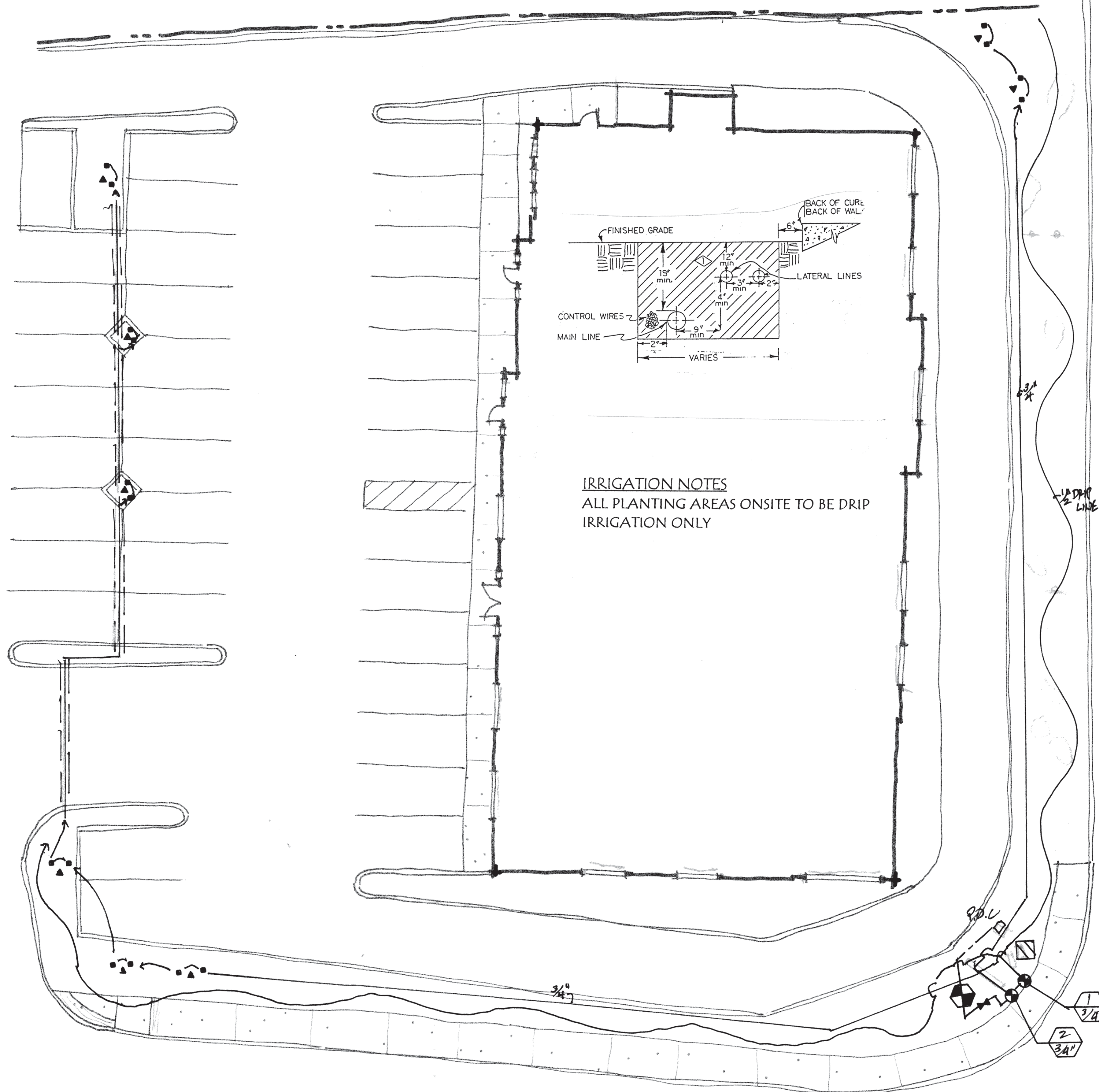
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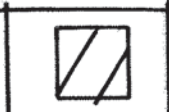





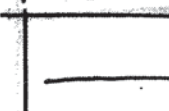
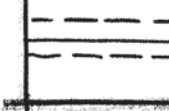




# RED CLIFFS CORNER PLAZA

Washington, Utah

Project 1603.696



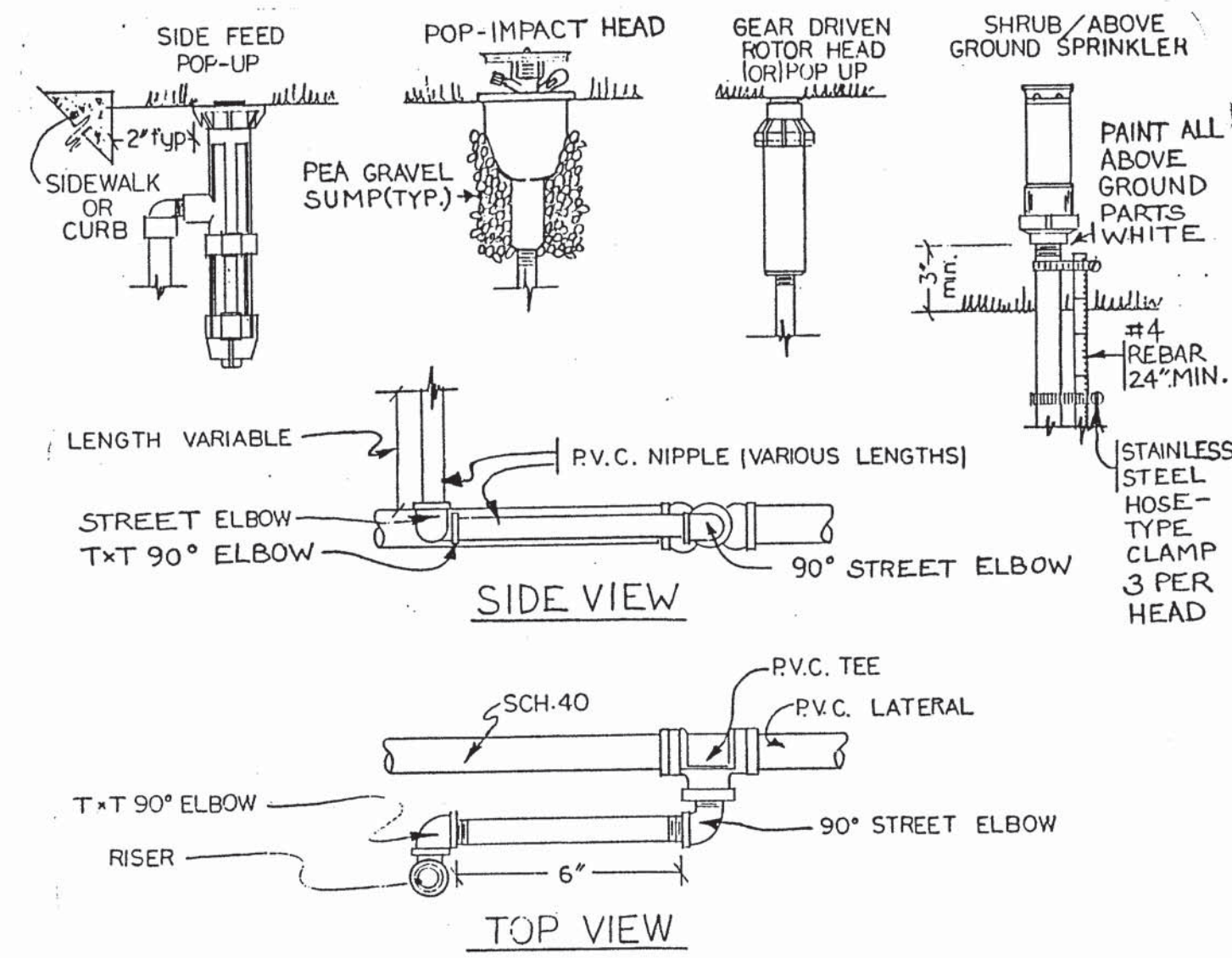
## IRRIGATION LEGEND

-  IRRIGATION CONTROLLER  
IRRITROL, RAINBIRD, TORO, OR COMPARABLE PRODUCT
-  BACKFLOW PREVENTION SYSTEM  
PRODUCT - FEBCO OR COMPARABLE PRODUCT
-  1" OR 3/4" BRASS GATE VALVE FOR MANUAL SHUT-OFF
-  AUTOMATIC IRRIGATION VALVE (ANTI-SIPHON)  
PRODUCT - TORO, RAINBIRD, OR COMPARABLE PRODUCT
-  DESIGNATED DRIPLINE AREAS
-  AUTOMATIC VALVE STATION NUMBER  
VALVE SIZE STATION ONE - DRIP IRRIGATE SHRUBS  
STATION TWO - DRIP IRRIGATE TREES
-  SCHEDULE 40 PVC MAIN LINE - LOCATION SCHEMATIC
-  POINT OF CONNECTION (POC) CONNECTION TO EXISTING LINE
-  LATERAL LINES 3/4" CLASS 200 PVC IRRIGATION PIPE
-  INDICATES IRRIGATION SLEEVES TO BE LOCATED UNDER ALL CONCRETE STRUCTURES WHEN APPLICABLE
-  2 DRIP EMITTERS PER TREE
-  TREE SYMBOL

## MASTER IRRIGATION PLAN

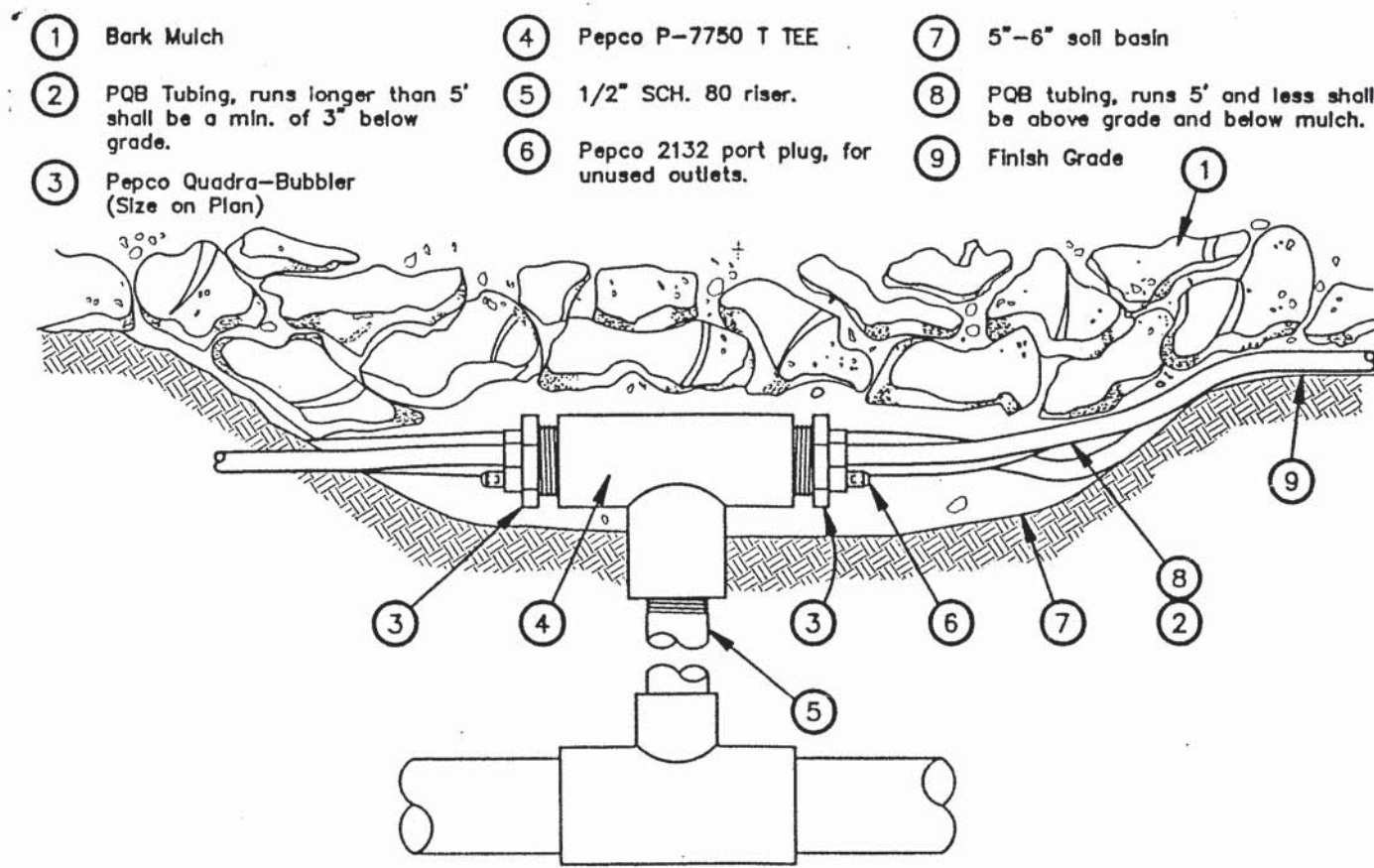
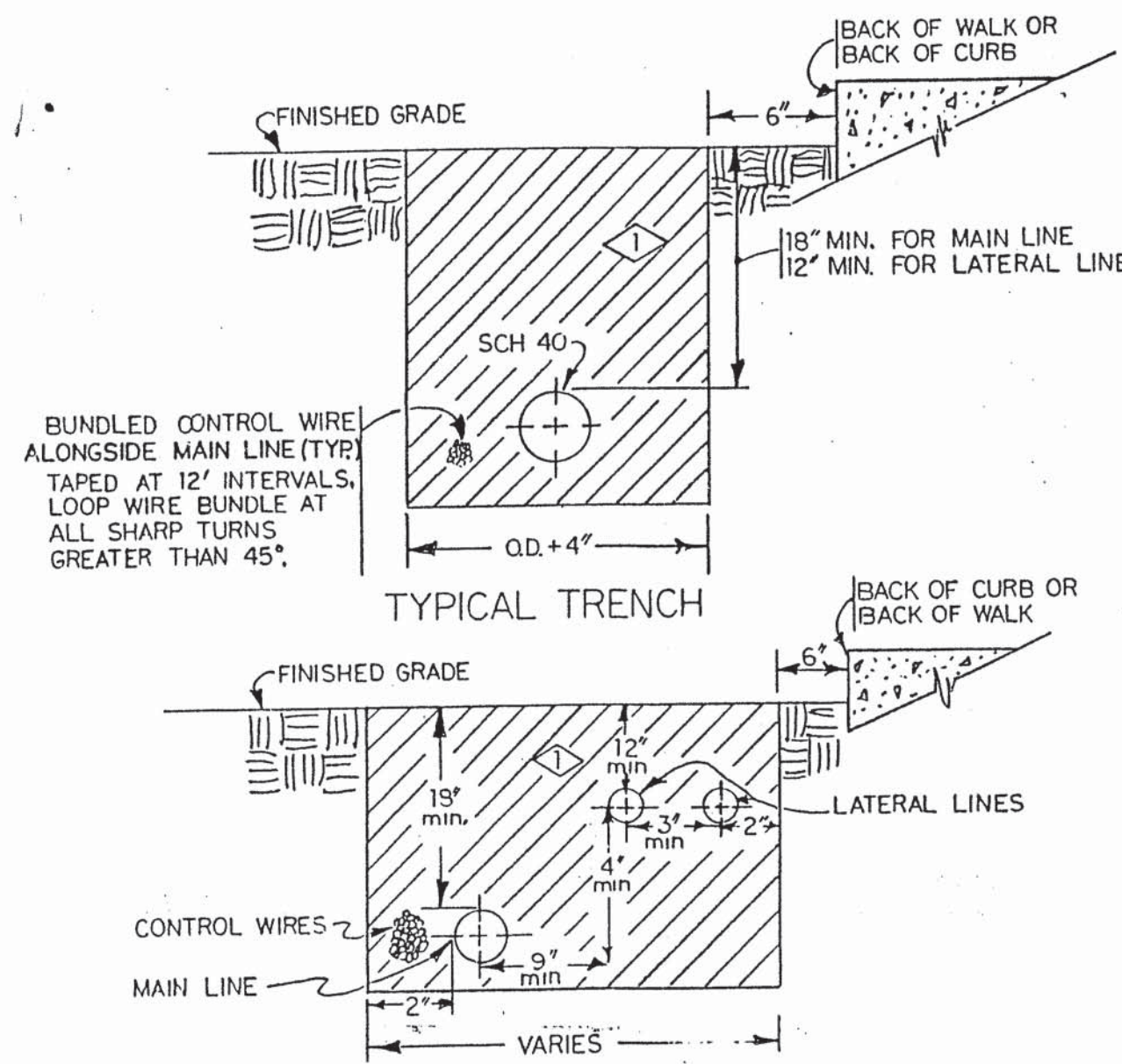
SCALE: 3/32"=1'-0"





**NOTES:**

- 1) COMPACT SOIL TO 90% RELATIVE COMPACTION.
- 2) ALL COMPONENTS FOR THE SWING JOINT SHALL BE P.V.C. SCHEDULE 90 OR MARLEX 90° (STREET) ELBOWS ON LATERAL SWING ASSEMBLIES.
- 3) NO ABOVE GROUND SPRINKLER HEADS SHALL BE PLACED AT CURBSIDE OR OTHER AREAS OF PREDICTABLE PEDESTRIAN OR VEHICLE TRAFFIC.

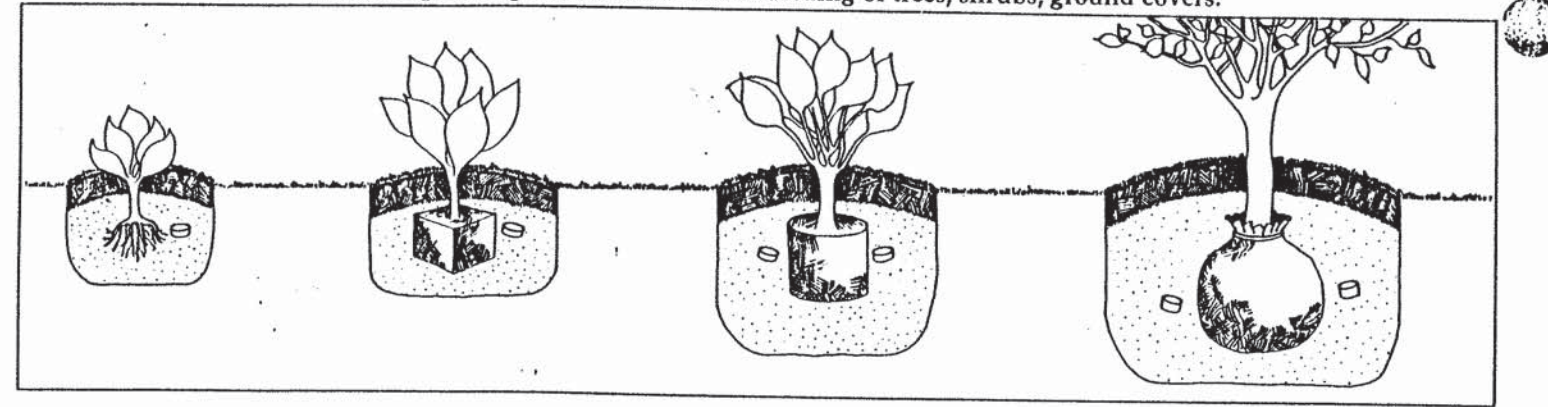


Quadra-Bubbler - at Grade Tee Application

- |  |   |  |
|--|---|--|
| 1 Bark Mulch   | 4 Pcpco P-7750 T TEE                        | 7 5"-6" soil basin   |
| 2 PQB Tubing, runs longer than 5' shall be a min. of 3' below grade. | 5 1/2" SCH. 80 riser.                       | 8 PQB tubing, runs 5' and less shall be above grade and below mulch. |
| 3 Pcpco Quadra-Bubbler (Size on Plan)                                | 6 Pcpco 2132 port plug, for unused outlets. | 9 Finish Grade   |

**Agriform® 20-10-5 Planting Tablets.**

Two year planting tablets for root zone feeding of trees, shrubs, ground covers.



**Easy to use.**

These compact easy-to-use fertilizer tablets eliminate the need for measuring small quantities of dry fertilizer. They provide a safe, non-burning complete plant food which lasts up to 2 years. The Planting Tablets fill the continuing needs of all plants for a full range of major nutrients.

**Established Plantings.**

When feeding established trees, shrubs, roses, and large perennials, insert 21-gram tablets around the dripline. Use 1 tablet for each 1/2 inch of tree trunk diameter or for each 1 foot of height or spread of shrubs, roses or large perennials. Sink tablets 6 to 8 inches deep.

**Special advantages.**

Agriform Planting Tablets can be used by untrained personnel. The simplicity of pre-measured tablets reduce training and supervisory time. The actual count and depth of tablet placement can be easily verified by inspection—weeks or months after application.

**Specifications.**

DESCRIPTION: Planting tablets shall be tightly compressed, long-lasting, slow-release fertilizer tablets weighing between 5, 10 or 21 grams, with a potential acidity of not more than 5 percent by weight and having an analysis of 20-10-5 derived from the sources listed in the following guaranteed analysis:

NOTE: In order to achieve best results, the recommendations below should be written into plans and specifications and followed closely by the landscape contractor:  
**Bare root, b & b, or container stock:** Position the plant in the hole and backfill no higher than halfway up the root ball. Place the recommended number of tablets evenly around the perimeter of, and immediately adjacent to, the root ball at a depth which is between the middle and the bottom of the root ball. Complete the backfilling, tamp and water.  
**Small groundcover plants:** Position the plant in the hole, then backfill halfway, and no more. Place the tablet immediately adjacent to the root ball and at a depth that is between the middle and the bottom of the root ball. Complete backfilling, firm the soil, and water.

**Environmental advantages.**

Agriform Planting Tablets feed for a full two years, reducing labor and materials required for reapplications. There is no surface residue or surplus to wash away. And the leach resistance properties protect underground water from pollution.

**Application rates.**

21-Gram Tablet		10-Gram		5-Gram	
1 gal. Can Plants	5 gal. Can Plants	Plants in Large Tubs or Boxes	Well-Rounded Plants	Small Ground-cover Plants or Perennials	Use Rates for Established Plantings
1 to 2 Tablets	2 to 3 Tablets	3 to 5 Tablets	1 to 2 Tablets	1 Tablet	

**GUARANTEED ANALYSIS**

TOTAL NITROGEN (N).....	20%
Derived from urea-formaldehyde.....	7.0%
Water Soluble Nitrogen.....	13.0%
AVAILABLE PHOSPHORIC ACID (P <sub>2</sub> O <sub>5</sub> ).....	10%
Derived from calcium phosphate.....	5%
SOLUBLE POTASH (K <sub>2</sub> O).....	5%
Derived from potassium sulfate.....	2.60%
Combined Calcium Cal.....	1.60%
Derived from calcium phosphates.....	0.35%
Iron (expressed as elemental Fe).....	0.35%
Derived from ferrous sulfate.....	
Potential Acidity: 5% or 100 Lbs. Calcium Carbonate Equivalent Per Ton.	

**GRO-POWER**

Humus Base Fertilizer and Soil Conditioner

GRO-POWER is a humus base fertilizer and soil conditioner which has been refined and activated by the addition of various bacterial "stimulators", which act to condition the soil and feed the plant. GRO-POWER is a formulation of the best of the organic fertilizing principles. GRO-POWER is fast-acting, long-lasting and supplies the organic matter that is absent from most soils. Humus, humic acids and bacteria have been blended to produce a fertilizer that far surpasses any fertilizer on the market.

The humus in GRO-POWER consists of higher plant life and woody material which has been composted beyond the fiber stage by bacterial activity. Humus increases the soil's moisture-holding capacity, acts as a storehouse for the plant nutrients and, when added to the soil, increases its granular structure. Humus acts as a buffering agent against strong chemicals, shielding the young plants from excessive fertilizing. Soil without humus becomes unproductive and useless.

**PROVISIONAL SPECIFICATION FOR SOIL AMENDMENTS**

**PREPARING SOIL FOR TURF AND GROUND COVER:**  
 Broadcast 150 to 200 lbs. of GRO-POWER/GRO-POWER PLUS per 1000 sq. ft. and rototill to 4 to 6 inches. GRO-POWER eliminates the need for all other organic matter. If the soil report indicates the necessity for additional soil amendments, broadcast and rototill in along with the GRO-POWER. *Additional fertilizer is normally not needed.* Water thoroughly and prepare soil for seed or turf. 45 to 60 days after grass is up, broadcast 25 lbs. of GRO-POWER per 1000 sq. ft. or use Gro-Power Hi-Nitrogen at 7 1/2 lbs. per 1000 sq. ft. and water thoroughly. To maintain a lawn in top condition, usually 3 to 4 applications of GRO-POWER and/or Gro-Power Hi-Nitrogen is sufficient.

**PLANTING MIX:**  
 Add 15 to 20 lbs. of Gro-Power/Gro-Power Plus to each cubic yard of planting mix.

**PLANTING SHRUBS AND TREES:**

1 Gallon Plants:	1 tablespoon of GRO-POWER in hole and 2 tablespoons on backfill in 1 foot circle.
5 Gallon Plants:	2 tablespoons of GRO-POWER in hole and 3 tablespoons on backfill in 1 1/2 foot circle.
15 Gallon Plants:	4 tablespoons of GRO-POWER in hole and 5 tablespoons on backfill in 2 foot circle.
24" to 25" Box:	1/2 cup of GRO-POWER in hole and 1/2 cup on backfill in 3 to 4 foot circle.

**IMPORTANT NOTE:**  
 DO NOT apply GRO-POWER on top of another fertilizer. Gro-Power Hi-Nitrogen should not be used in soil preparation.

GRO-POWER is a humus base fertilizer and soil conditioner and is the finest fertilizer on the market. The humus and humic acids and bacterial "Activators" in GRO-POWER aid in unlocking the nutrients held in the soil and makes them available for the plants' use. GRO-POWER conditions the soil and feeds the plant. **Try GRO-POWER TODAY!**

Sole Manufacturer



To be used until the completion of a soils test.

**PLANTING NOTES**

1. PROTECT PLANT MATERIAL from damage to root balls, trunk and foliage during delivery, handling and storage.
2. CONTROL WEEDS by cleaning and removing weeds at the beginning of work. Maintain site weed-free throughout the construction process.
3. LAYOUT PLANTING AREAS so that:

TREES are not planted closer than 4 feet from the edge of Turf areas and 2 feet from underground utilities.

TREES do not grow up under eaves or other structures

SHRUBS do not block spray irrigation nozzles. SHRUBS do not block drainage swales.

GROUNDCOVERS are held back 18 inches from Main stems of shrubs.

GROUNDCOVERS to be triangularly spaced. GROUNDCOVER areas are separated from Turf areas by a headerboard.

4. CLEAN DEBRIS FROM THE SOIL so that the top two inches (2") of all areas to be planted are free of all deleterious matter one inch (1") in diameter, such as stones, clods, stumps, and are free from all wire, plaster or similar objects that would be a hindrance to planting.

5. PREPARE THE SOIL by cross ripping to a depth of 10-12 inches, applying amendments such as Gro-Power or Comp-Gro, rototilling a minimum of two directions to a depth of 4-6 inches. Overhead irrigate so that a minimum of 4-6 inches of good quality water passes through the soil profile.

6. BACKFILL PLANTING EXCAVATIONS with amended surface soils. Only un amended soil should be placed beneath the plant root ball. If additional quantities of backfill mix are required blend bulk mix in proportions of Gro-Power. After back filling, an earthen basin derived from amended materials and of sufficient depth to hold at least two inches (2") of water should be formed around each plant. Excess soil generated from the planting holes and not used as backfill or in establishing the final grades shall be removed from the site.

7. FERTILIZE each plant excavation by placing tablets or granules according to the suppliers recommendations.
8. EVENLY SPREAD AND DRESS WITH MULCH all shrub and groundcover areas with at least a two inch (2") layer of a fibrous, woody bark mixture of varied particle size.

9. PLANT AND STAKE trees, shrubs and groundcover as follows:

Center plant in pit or trench.  
 Face plants with fullest growth into prevailing wind.  
 Set plant plumb and hold rigidly in position until soil has been tamped firmly around ball or roots.  
 All excavated holes shall have vertical sides with roughened surfaces and shall be of a size that is twice the diameter and one-half times the depth of the root ball for all trees and shrubs.

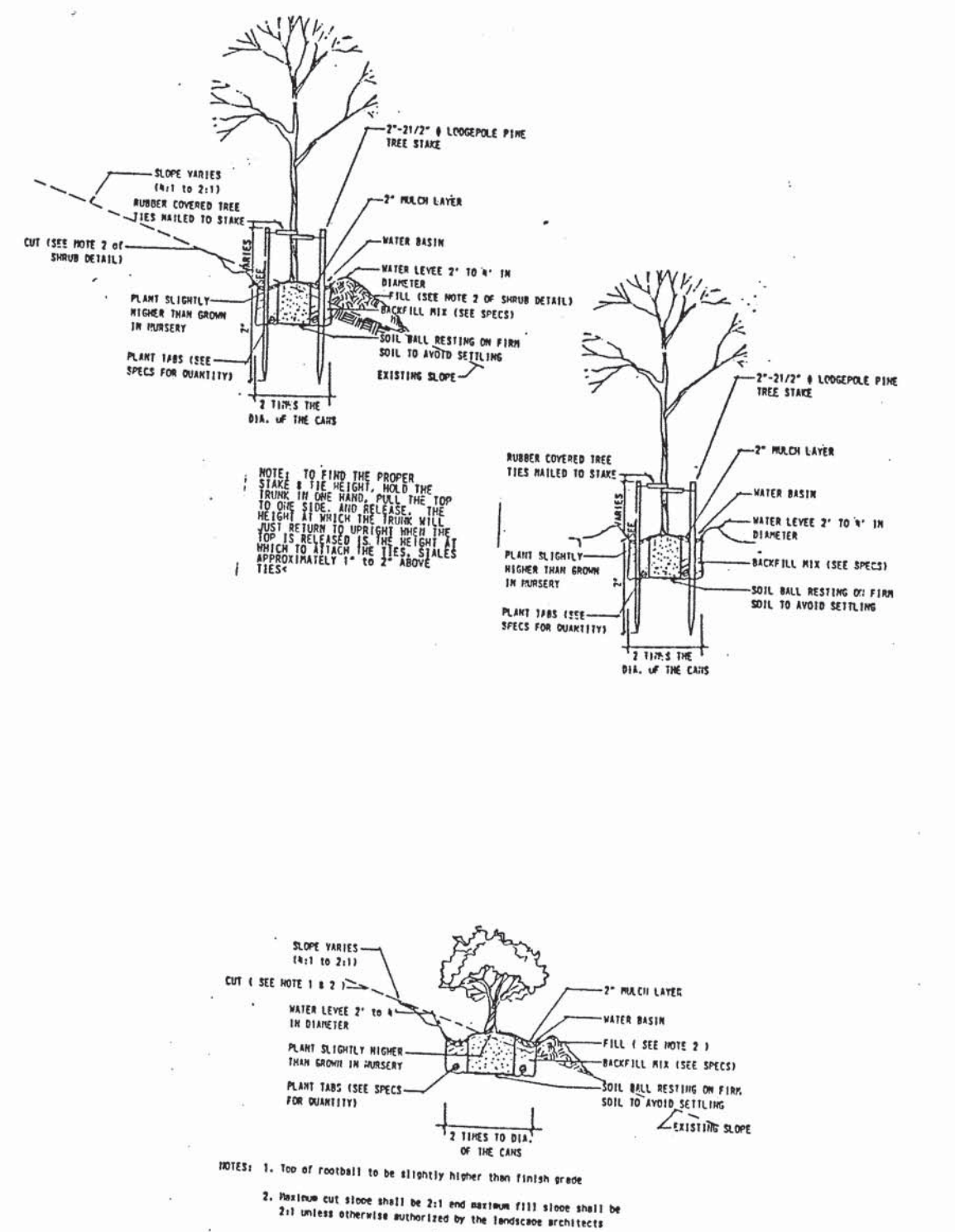
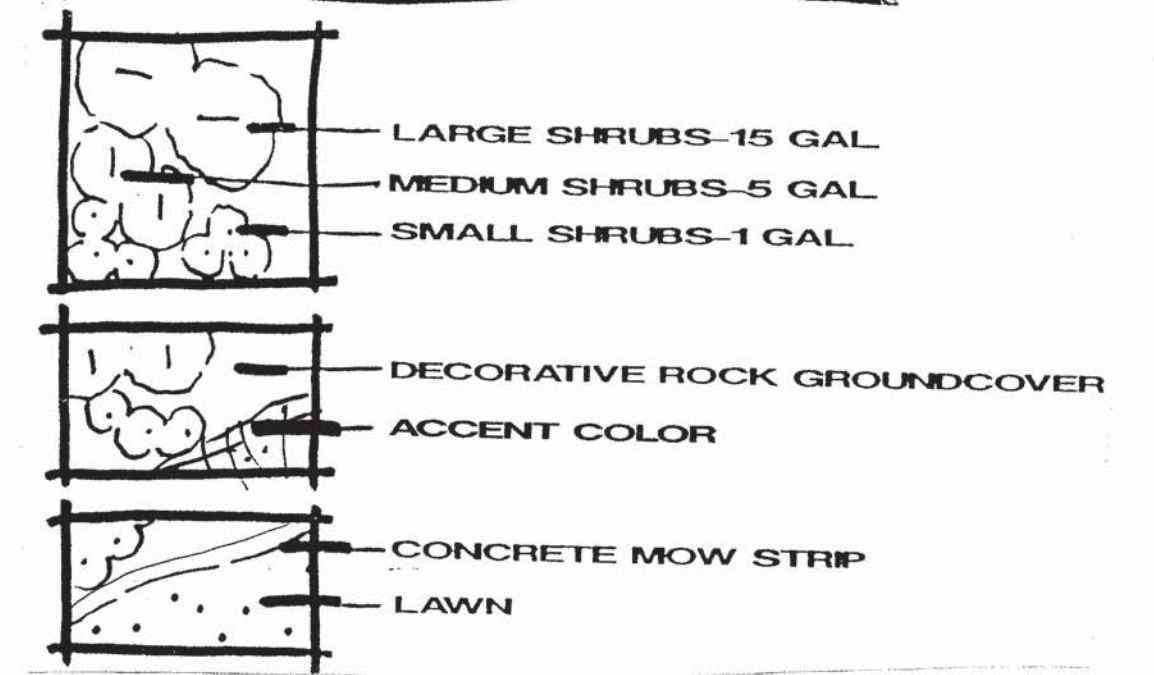
Groundcover shall be planted in all planting areas not indicated as turf. Groundcover key indications are shown in legend.

Pruning shall be limited to minimum necessary to remove injured twigs and branches, and to shape the plant material.

**NOTES:**

1. Locate and flag all utility lines prior to trenching.
2. Install main line and valves within planting areas.
3. Minimum cover - (Main - 18"; Laterals - 10").
4. All unsized lines with only one spray head to be 1/2" in size.
5. Coordinate Irrigation installation with work of other trades.
6. Set controller stations for repeated short cycles to control run off.
7. Use common trench as much as possible for main, laterals, and 1/4"-1 UF control.
8. Flush lines then install and adjust all heads for proper coverage.
9. System to be installed per all governing codes.

**LEGEND**



**DETAILS & NOTES**

















**SITE DATA:**

SITE: 30,650.5 SF  
 BUILDING: 9,065 SF  
 PARKING REQUIRED: 3.5 SPACES / 1000 SF = 32  
 PARKING PROVIDED: 34

**SHEET NOTES:**

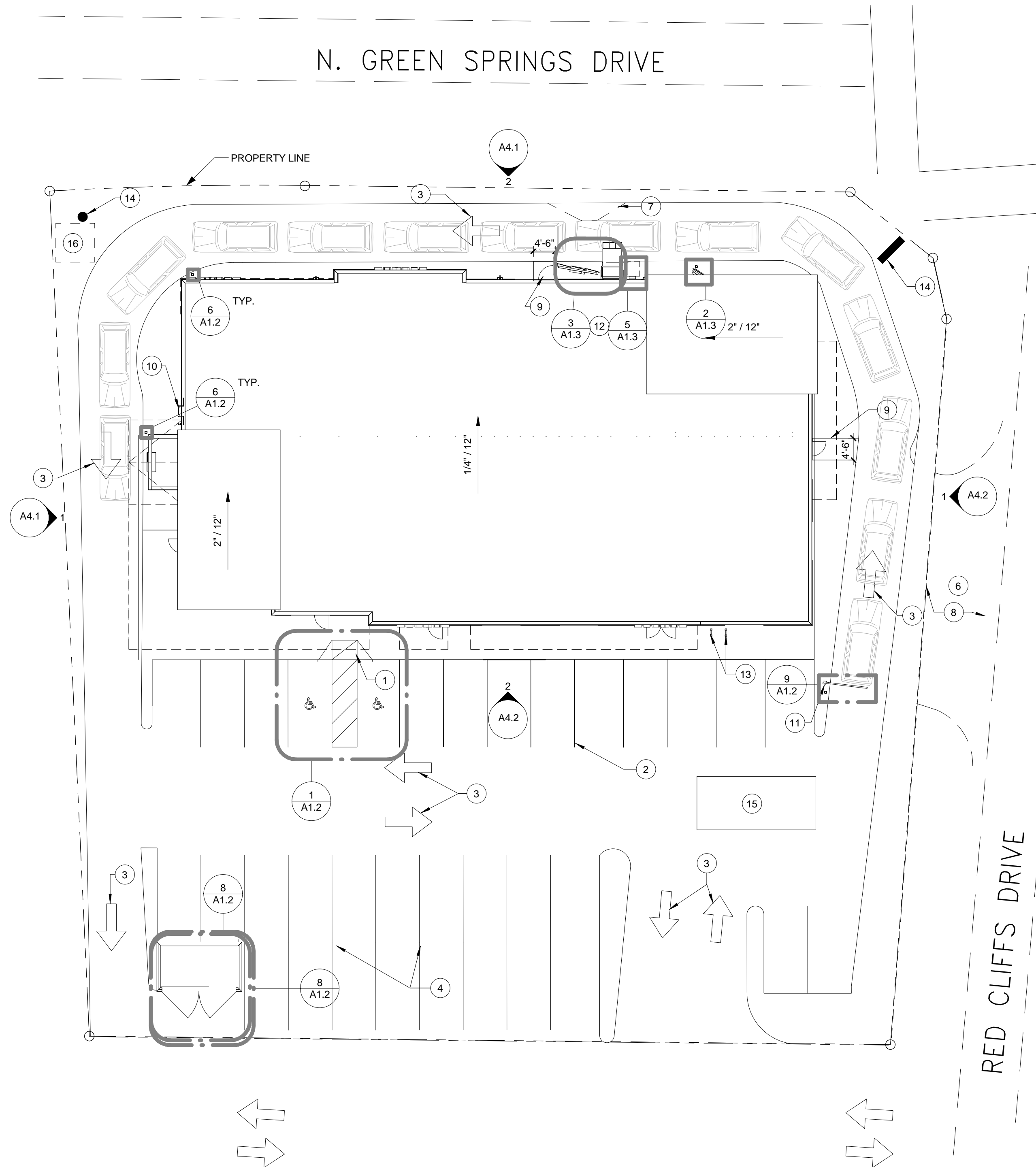
1. ADA ACCESSIBLE RAMP; RE: CIVIL
2. NEW PAINT PARKING LOT STRIPING; TYP.
3. NEW PARKING LOT DIRECTIONAL DECALS
4. SITE LIGHTING; RE: ELECTRICAL AND CIVIL
5. SITE SIGNAGE BY TENANT; FOOTERS AND CONDUIT BY LL; RE: STRUCT AND ELEC
6. EXISTING CURB TO BE DEMOD; INFILL WITH NEW CURB AND LANDSCAPING
7. DEMO EXISTING CURB; PER CIVIL
8. INFILL CURBCUT WITH STANDARD CURB AND LANDSCAPE
9. PROVIDE A CONCRETE LANDING OUTSIDE EMERGENCY EXITS AS SHOWN.
10. ROOF LADDER
11. CLEARANCE BAR AND BOLLARD
12. DRIVE THRU SIGNAGE BY TENANT; PROVIDE ELEC. CONDUIT AND FOOTER; RE: ELEC AND STRUCT.
13. NEW BIKE RACKS; RE: CIVIL
14. EXISTING SIGN TO REMAIN; RELOCATE FOR TRANSFORMER AS NECESSARY; REPAIR FOR REUSE
15. STANDARD GREASE INTERCEPTOR; RE: CIVIL
16. NEW TRANSFORMER; RE CIVIL AND ELEC

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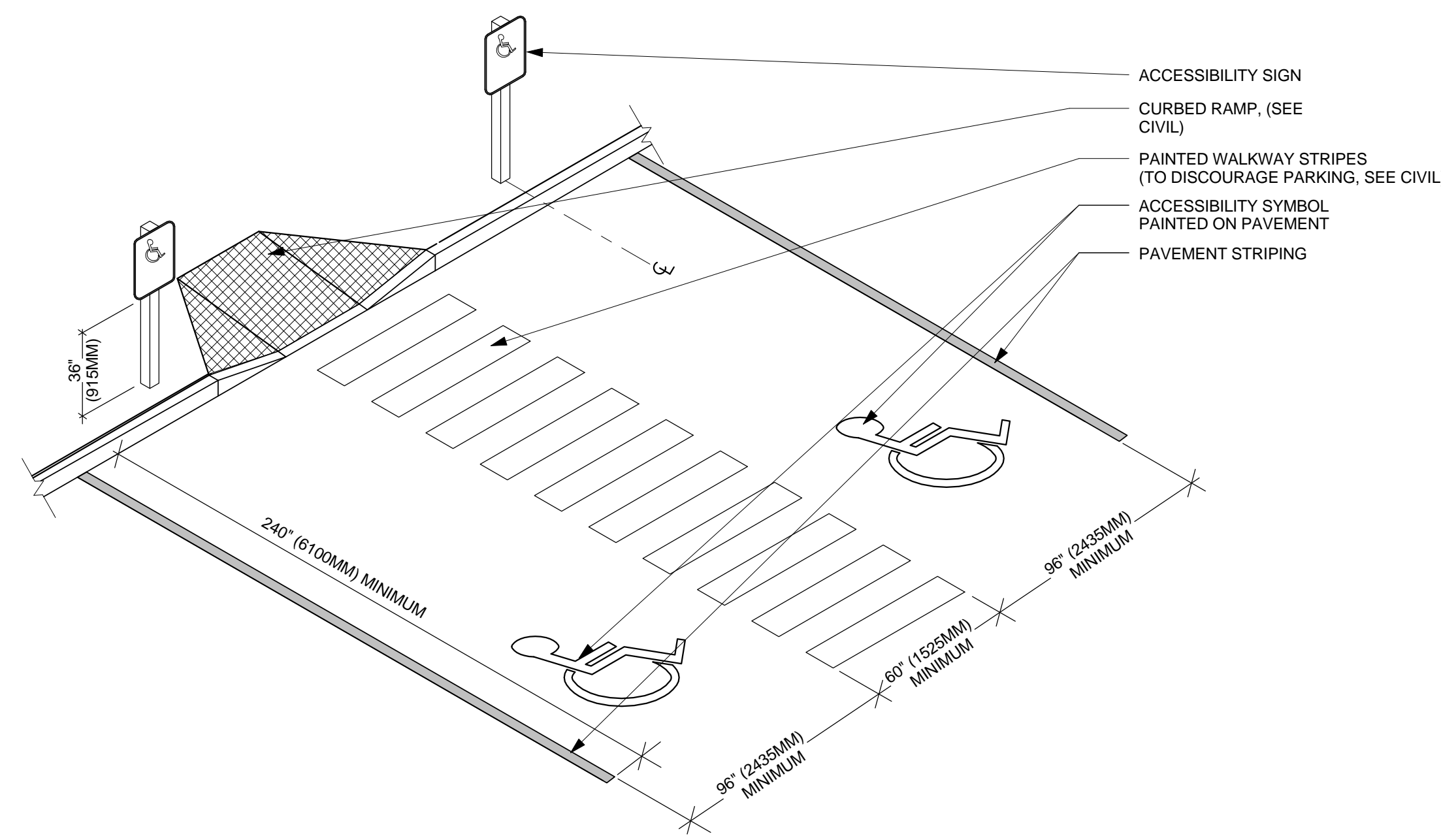
REV. #	ISSUED FOR	DATE	JOB NUMBER:	DRAWN BY:	APPROVED BY:	DATE:	SHEET TITLE:
			16025	SLS	RD	7/15/2016	SITE PLAN

SHEET:  
**A1.1**

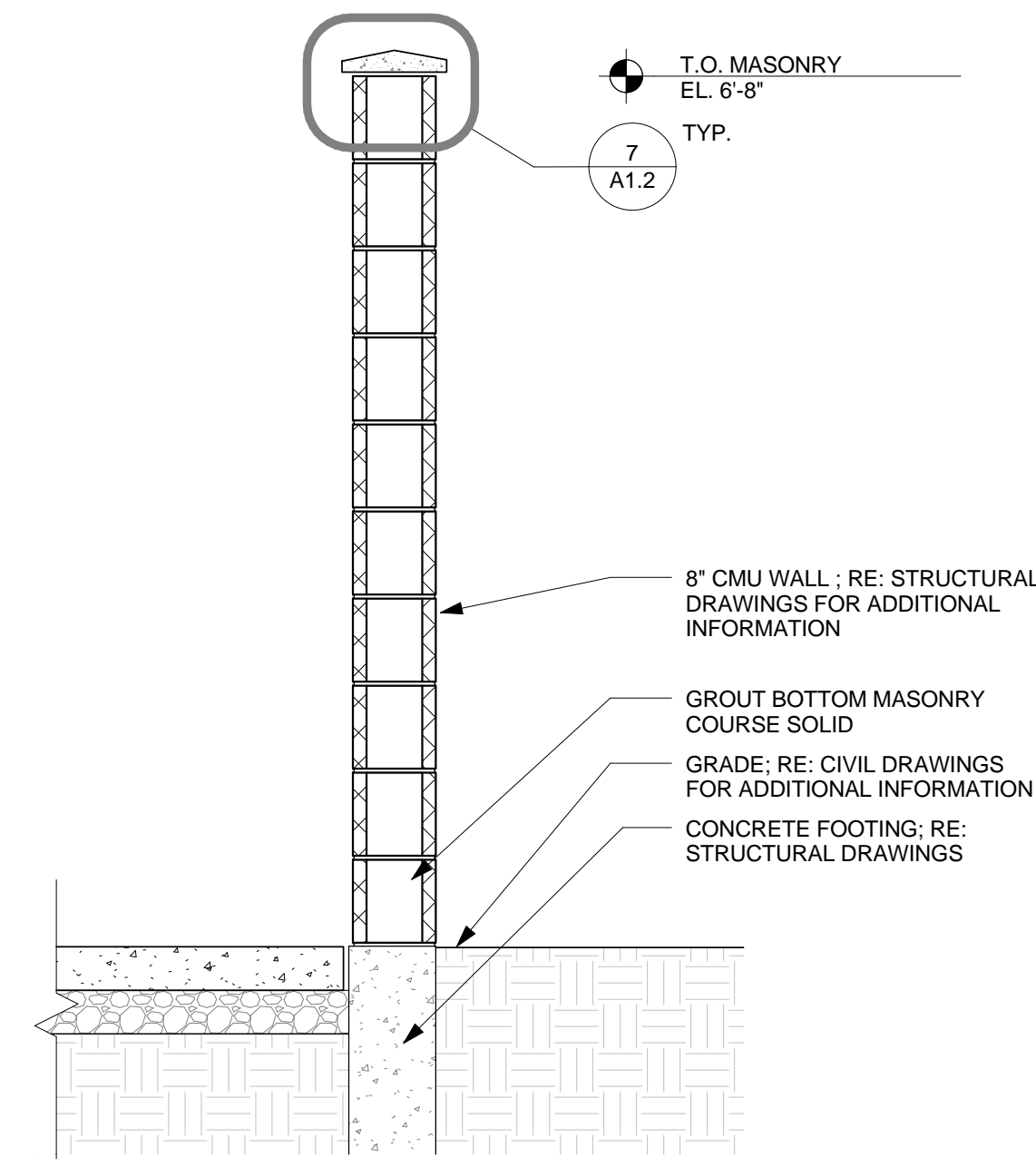


**1** SITE PLAN  
 1/16" = 1'-0"

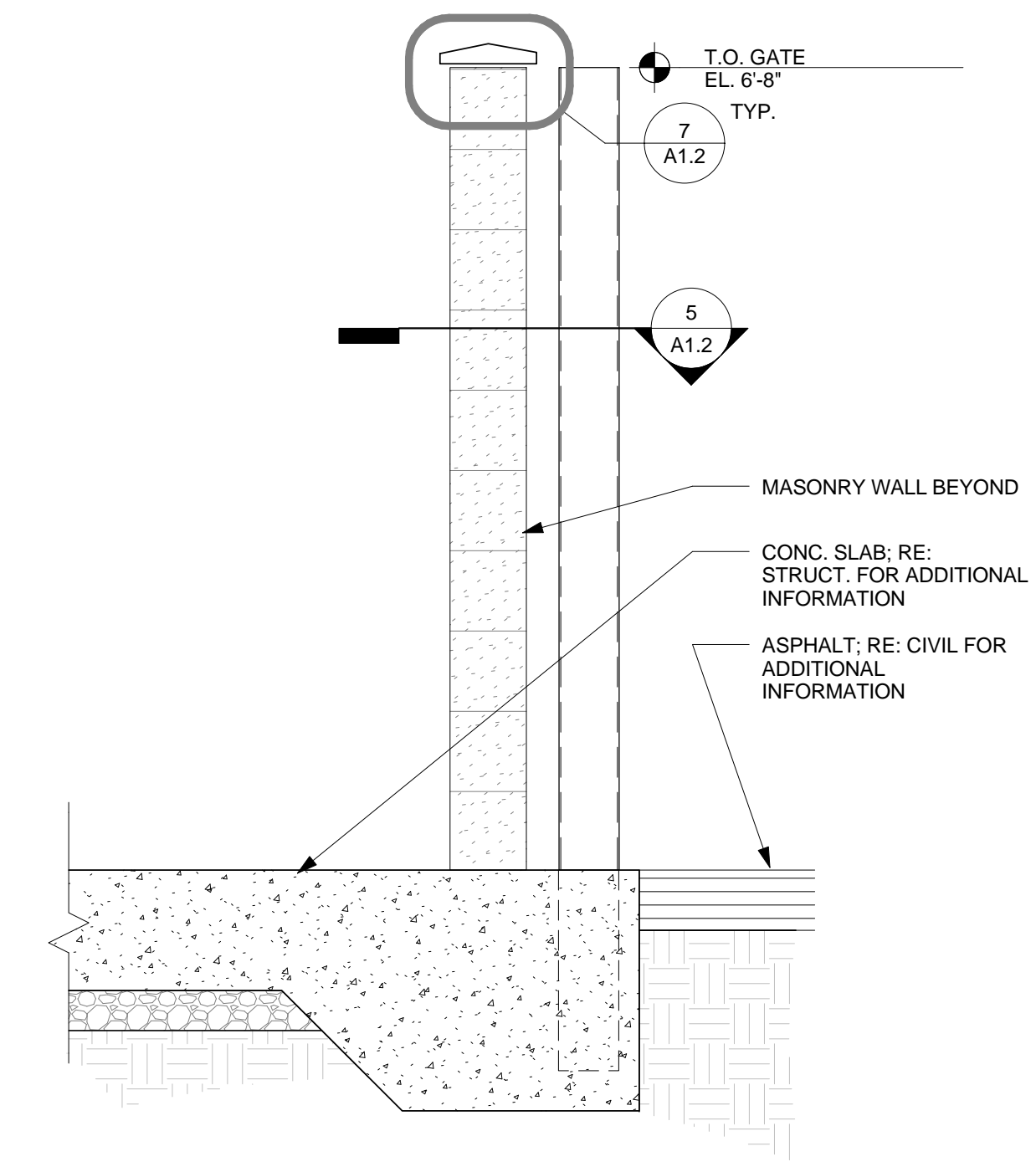




1 ACCESSIBLE PARKING - DOUBLE  
1/4" = 1'-0"

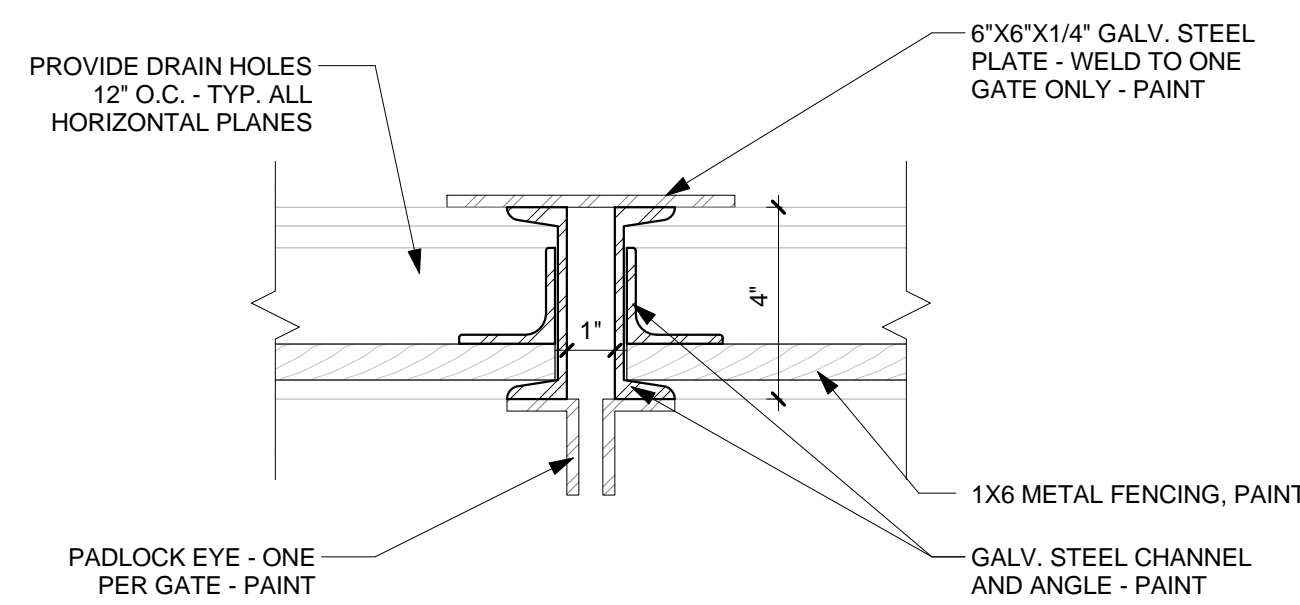


2 TRASH ENCLOSURE - SECTION @ MASONRY  
3/4" = 1'-0"

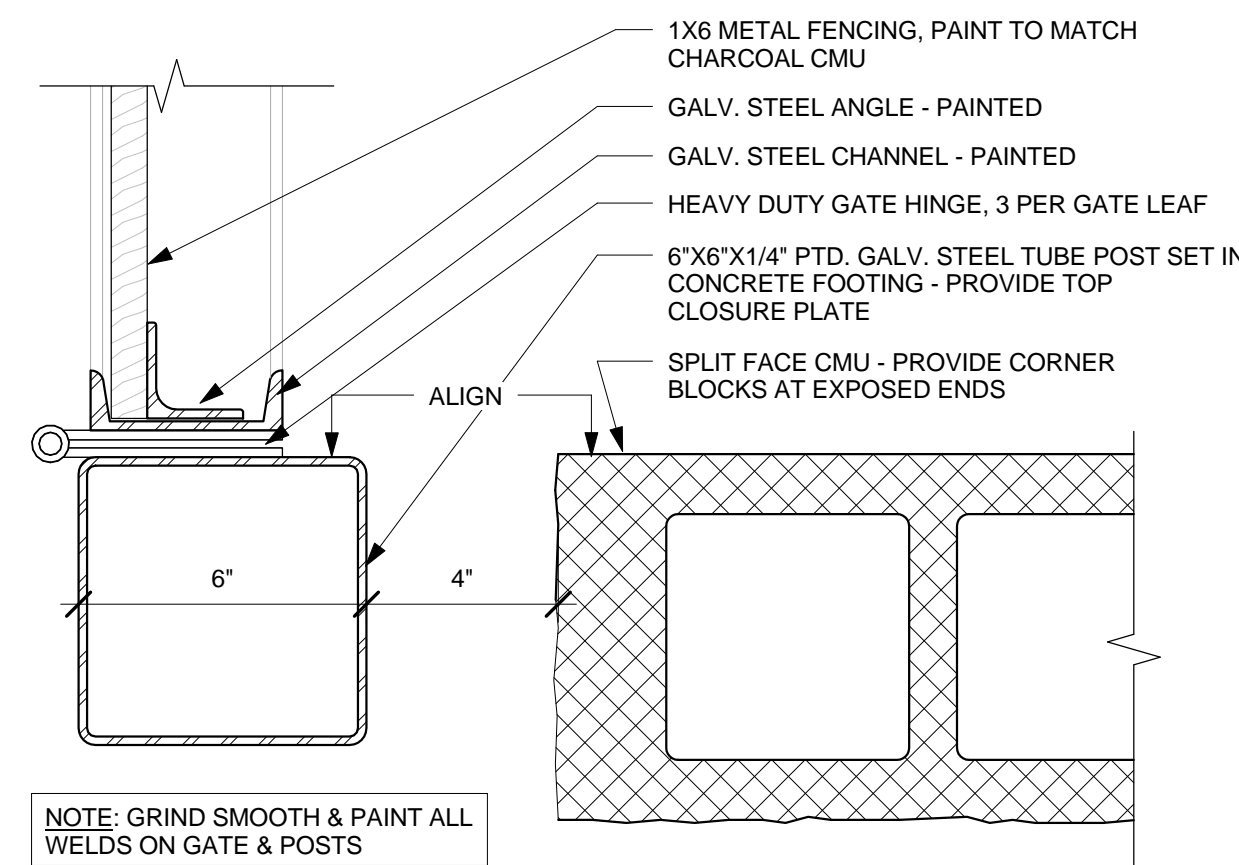


3 TRASH ENCLOSURE - SECTION @ GATE  
3/4" = 1'-0"

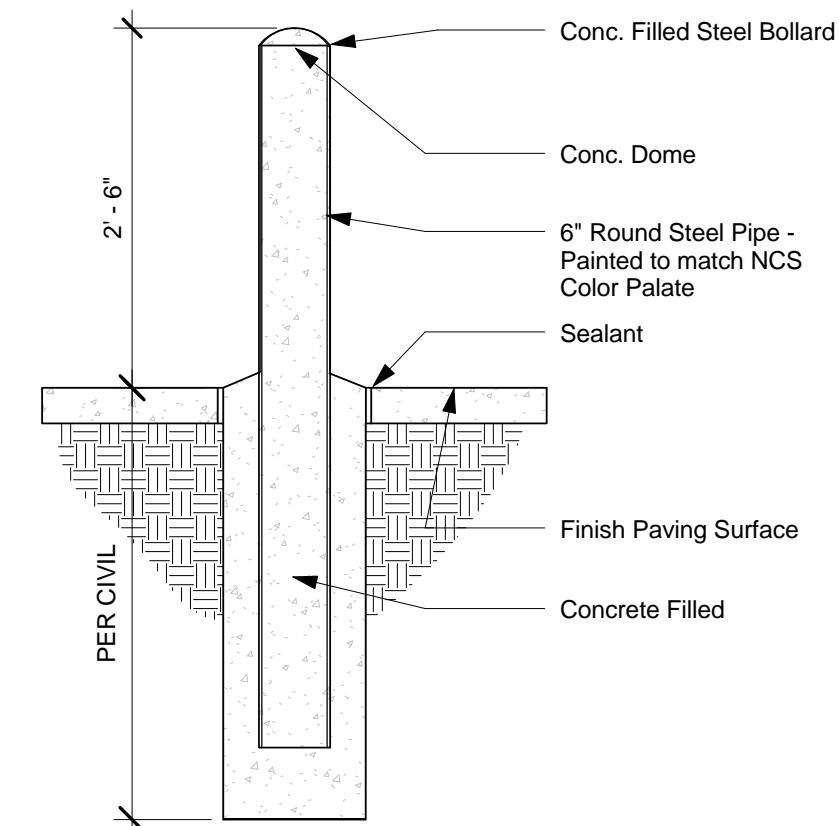
NOTE: GRIND SMOOTH & PAINT ALL WELDS ON GATE & POSTS



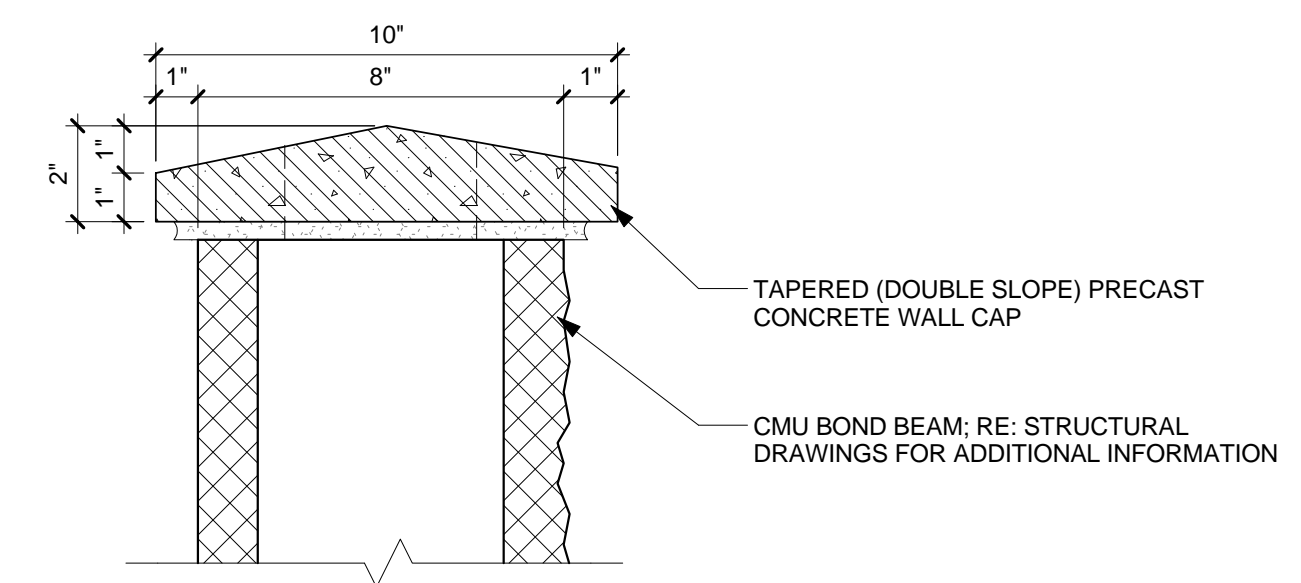
4 TRASH ENCLOSURE - GATE DETAIL  
3" = 1'-0"



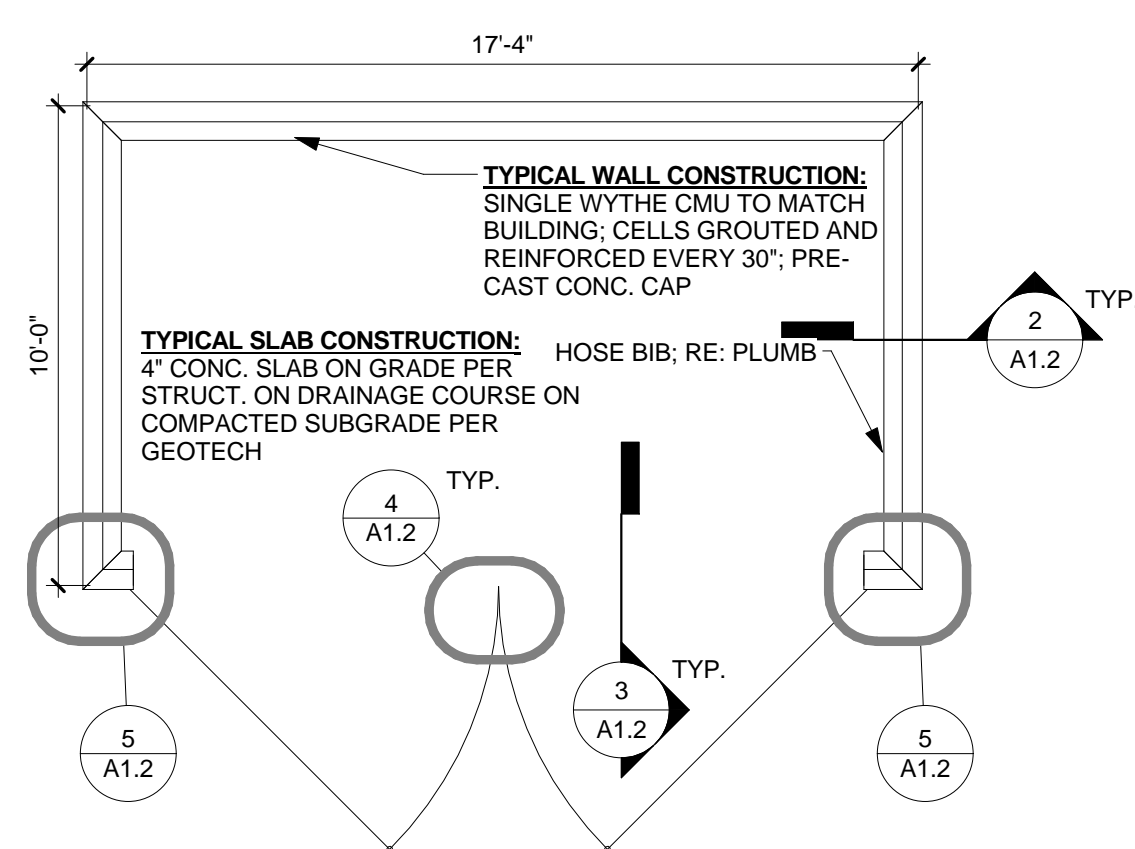
5 TRASH ENCLOSURE - GATE POST DETAIL  
3" = 1'-0"



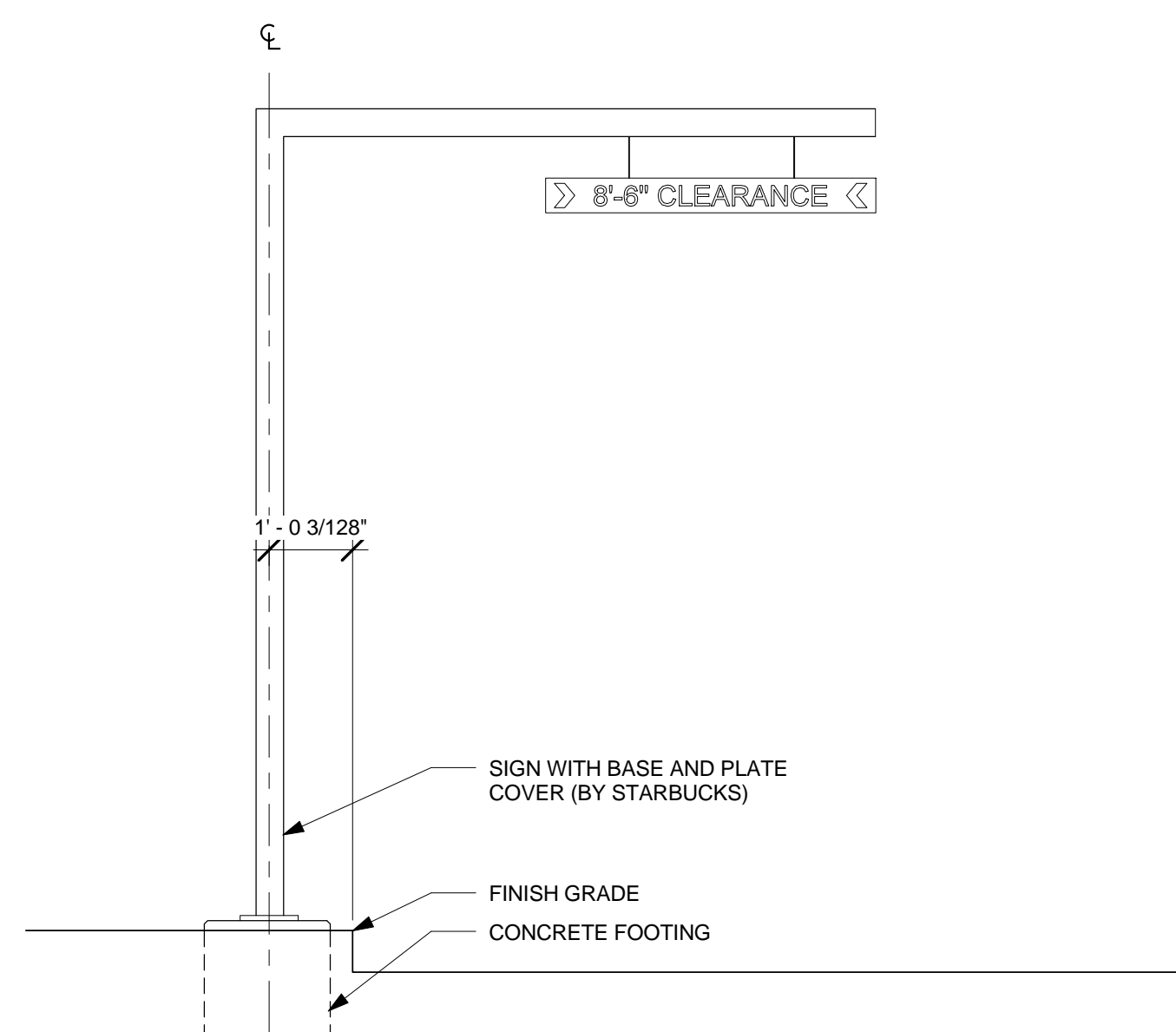
6 SITE - BOLLARD DETAIL  
3/4" = 1'-0"



7 PRECAST MASONRY WALL CAP  
3" = 1'-0"



8 ENLARGED PLAN - TRASH ENCLOSURE  
1/4" = 1'-0"



9 DTE - CLEARANCE BAR  
1/2" = 1'-0"

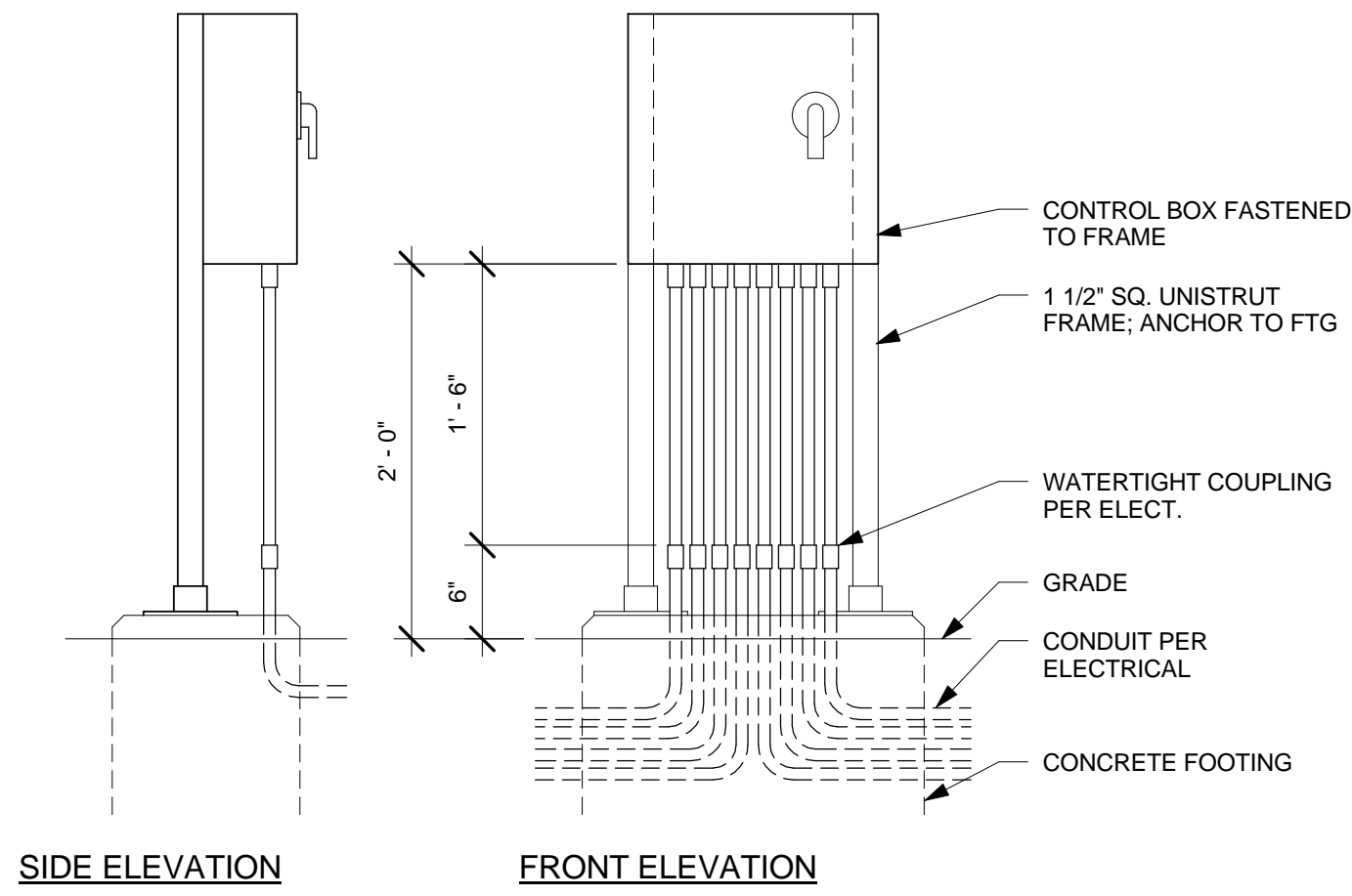
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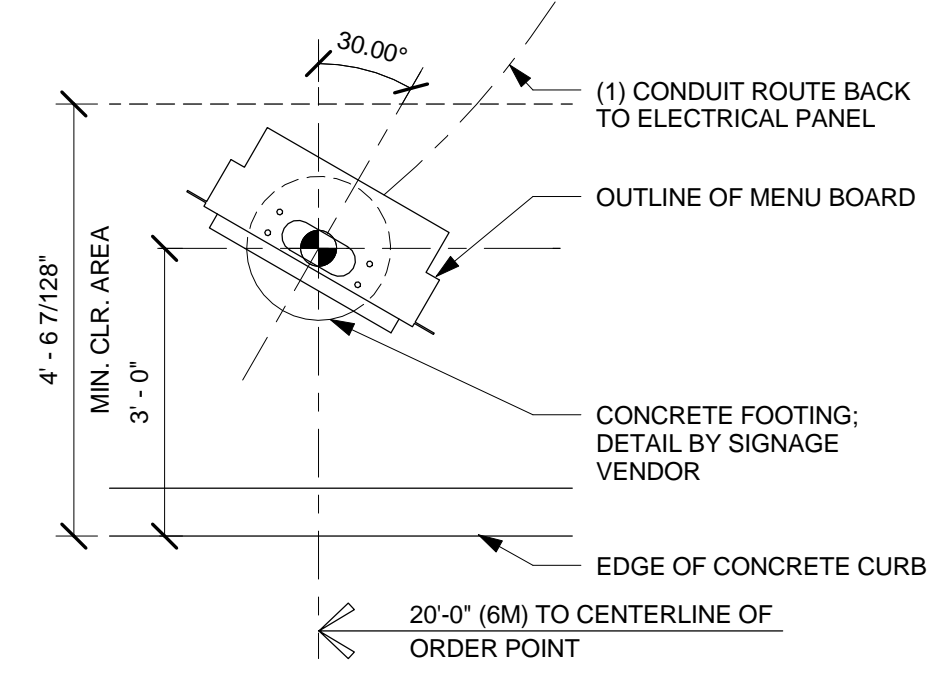
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				DRAWN BY: SLS
				APPROVED BY: RD
				DATE: 7/15/2016
				Original drawing is 24" x 36"   Scale entities accordingly if reduced
				SHEET TITLE: SITE DETAILS

SHEET:

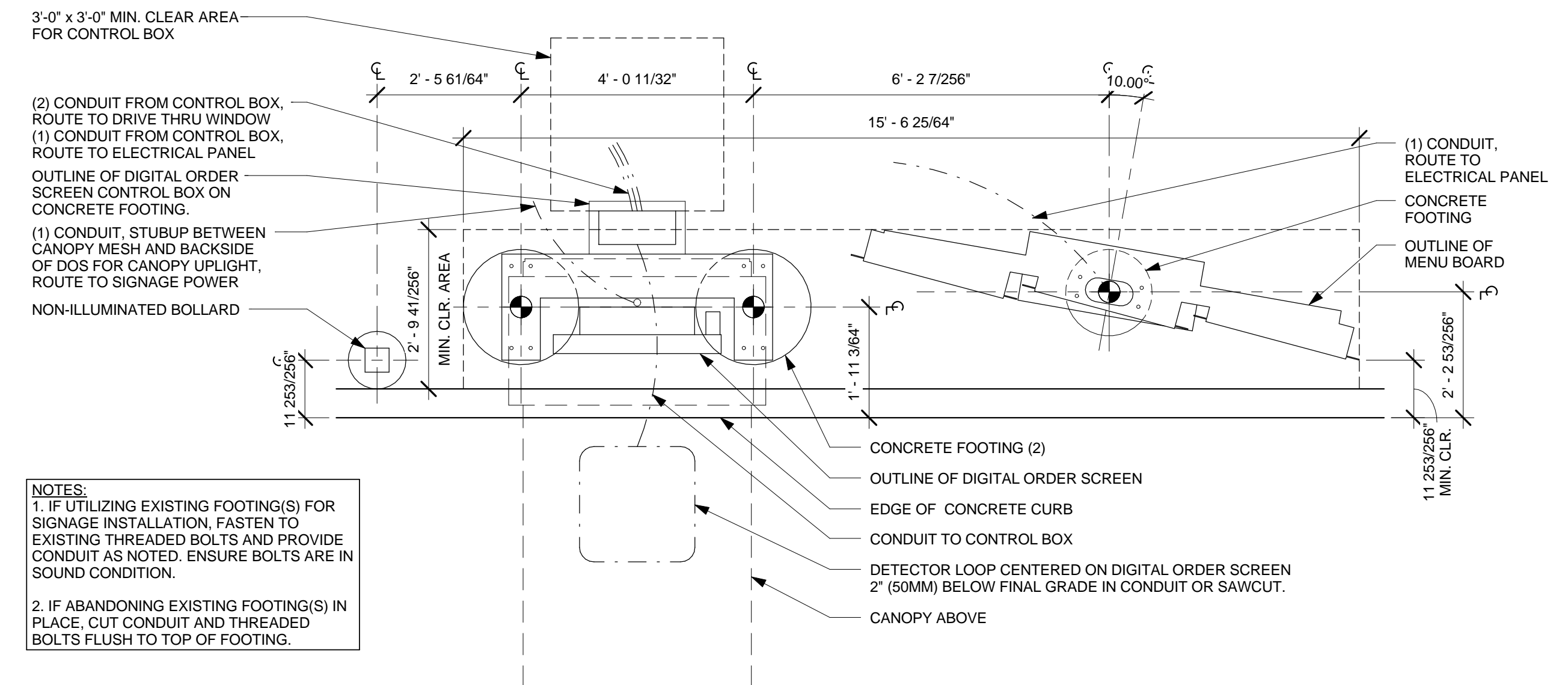
A1.2



**1** DTE - DOS CONTROL BOX FREESTANDING  
1" = 1'-0" \*FOR REFERENCE ONLY; TENANT INSTALLED

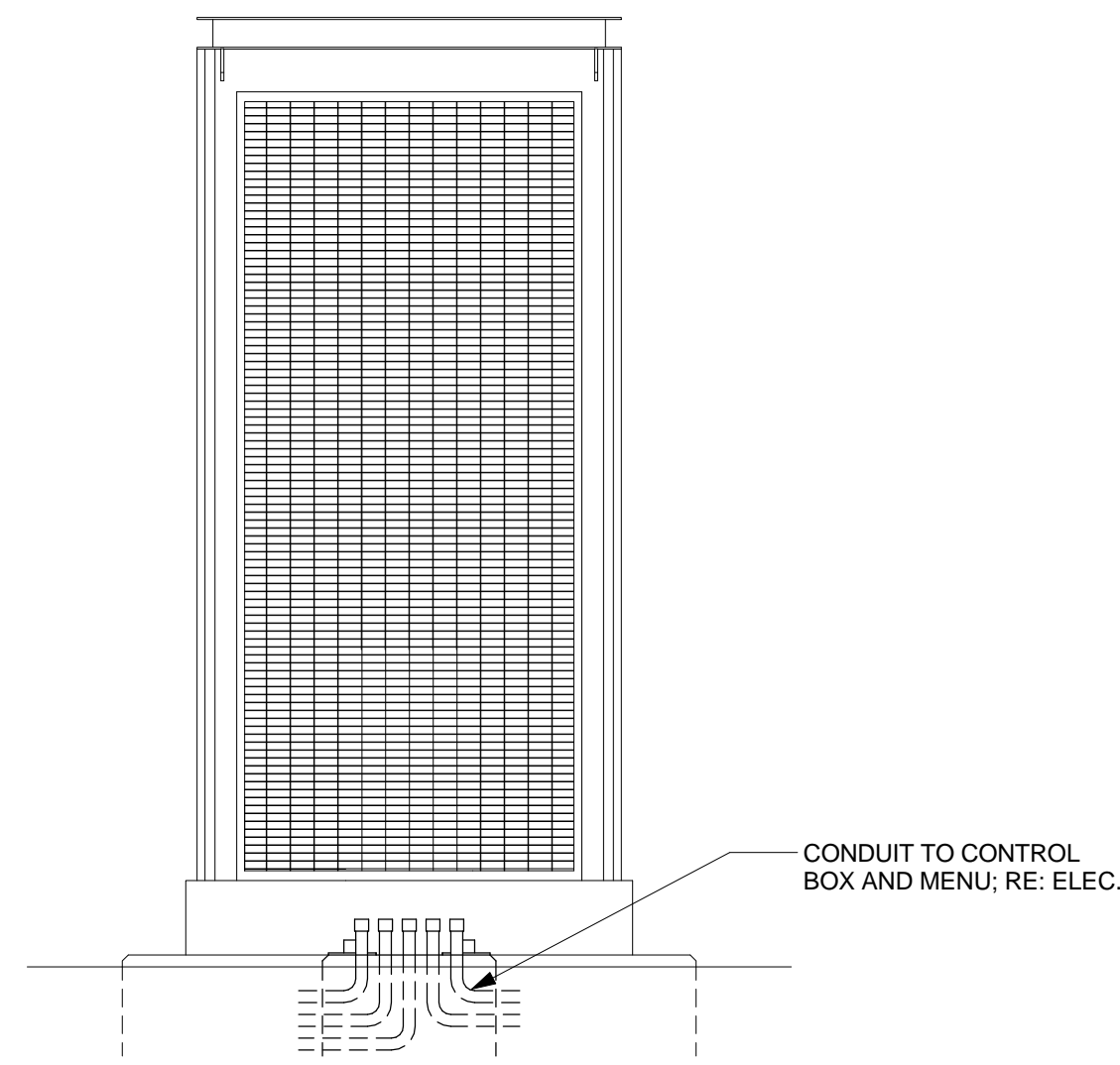


**2** DTE - PRE-MENU 30 DEG  
1/2" = 1'-0" \*FOR REFERENCE ONLY; TENANT INSTALLED

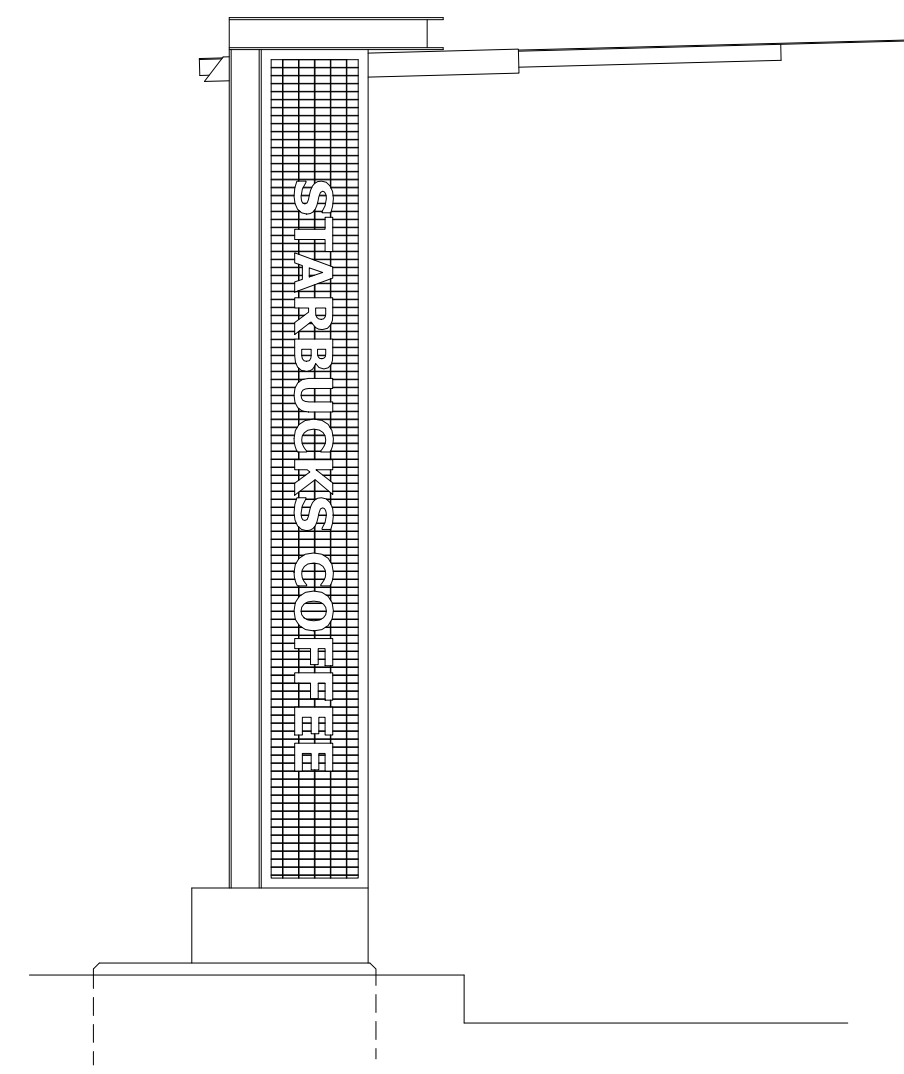


**NOTES:**  
1. IF UTILIZING EXISTING FOOTING(S) FOR SIGNAGE INSTALLATION, FASTEN TO EXISTING THREADED BOLTS AND PROVIDE CONDUIT AS NOTED. ENSURE BOLTS ARE IN SOUND CONDITION.  
2. IF ABANDONING EXISTING FOOTING(S) IN PLACE, CUT CONDUIT AND THREADED BOLTS FLUSH TO TOP OF FOOTING.

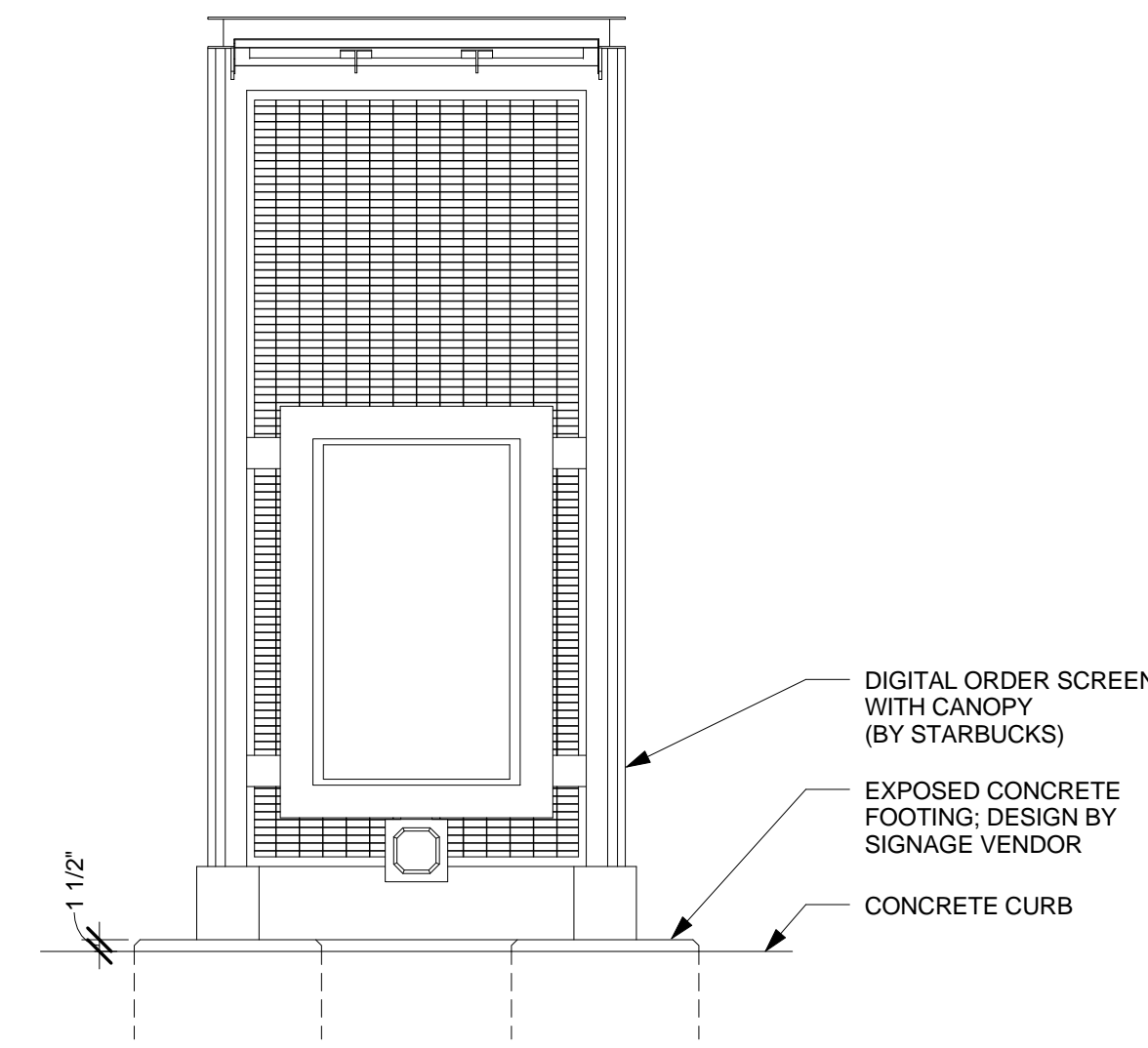
**3** DTE - 5 PANEL 10° DT MENU BOARD, DIGITAL ORDER SCREEN WITH CANOPY  
1/2" = 1'-0" \*FOR REFERENCE ONLY; TENANT INSTALLED



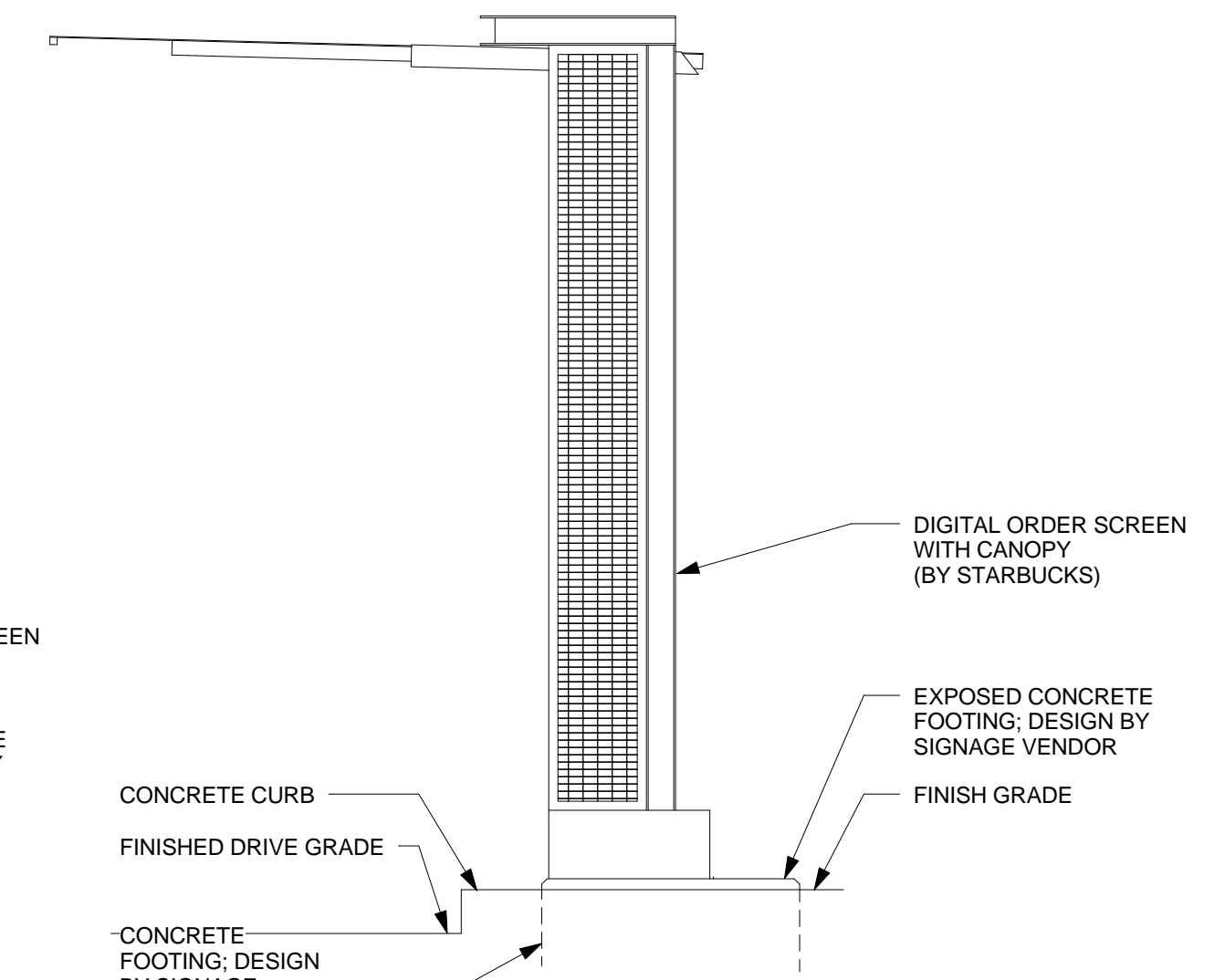
**4** DIGITAL ORDER SCREEN AND CONTROL BOX WITH CANOPY  
1/2" = 1'-0" \*FOR REFERENCE ONLY; TENANT INSTALLED



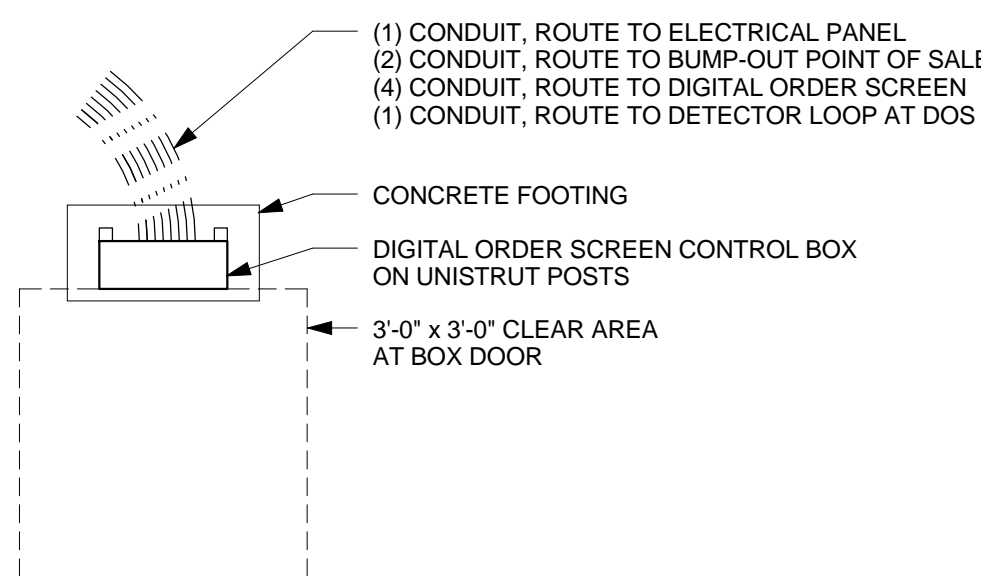
**LEFT ELEVATION**



**FRONT ELEVATION**



**RIGHT ELEVATION**



**5** DTE - DOS CONTROL BOX FREESTANDING  
1/2" = 1'-0" \*FOR REFERENCE ONLY; TENANT INSTALLED

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			APPROVED BY:	Approver
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			SHEET TITLE:	
			SITE DETAILS	

SHEET:

**A1.3**



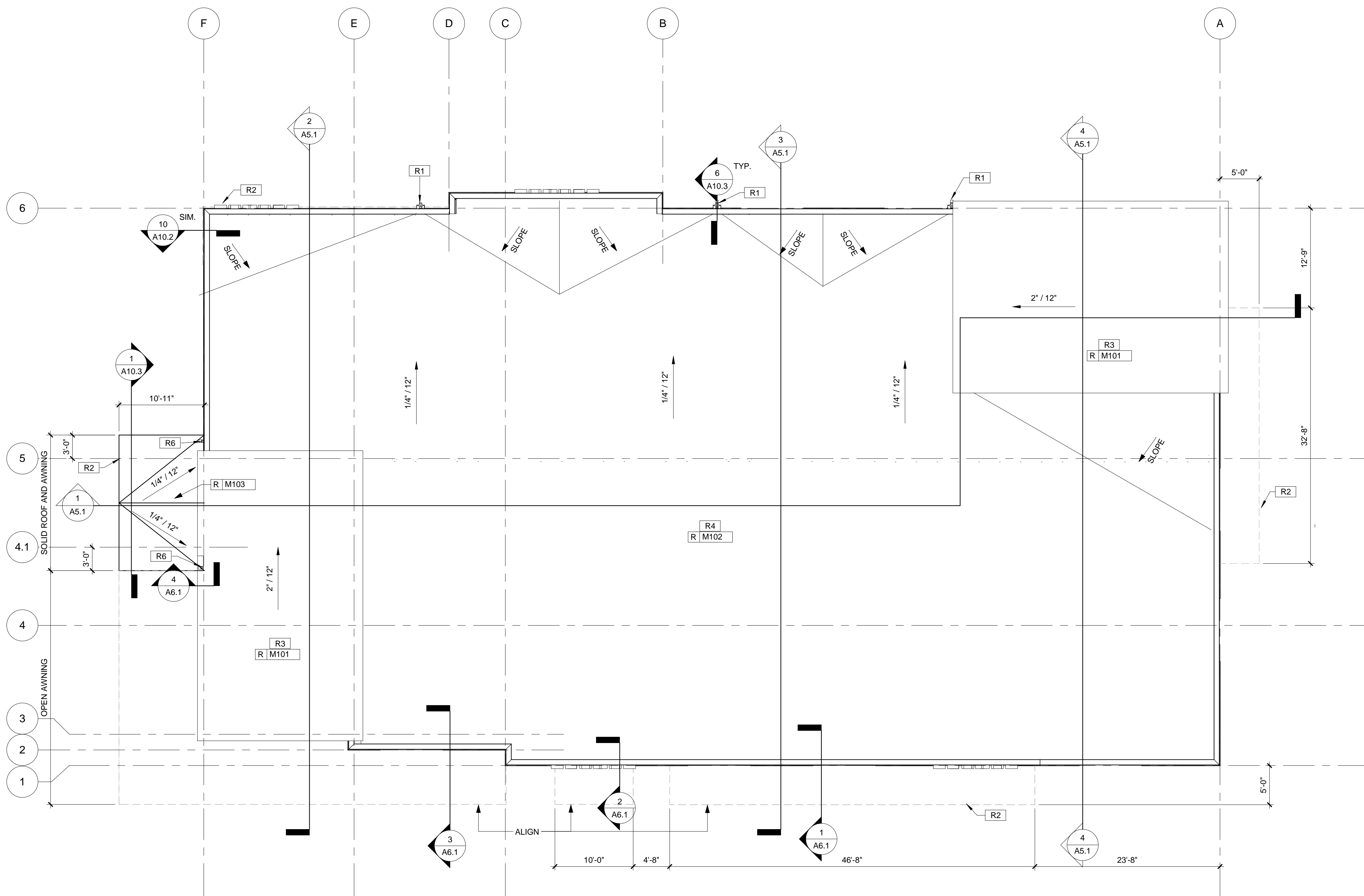


Roof Type Schedule	
Type Mark	Type Comments
A101	OPEN FRAME METAL AWNING; RE: STRUCT.
M101	STANDING SEAM METAL ROOF SYSTEM ON ICE AND WATER BARRIER ON 1/2" SHEATHING ON R-20 CI ON METAL DECKING ON STRUCTURE PER STRUCT.
M102	TPO ROOFING SYSTEM FULLY ADHERED TO R-25 CI ON PLYWOOD DECKING ON STRUCTURE PER STRUCT.
M103	TPO ROOFING SYSTEM FULLY ADHERED ON R-25 CI ON PLYWOOD DECKING ON STRUCTURE PER STRUCT.

**ROOF PLAN GENERAL NOTES:**

1. VERIFY ALL ROOF SLOPES, TOP OF STEEL HEIGHTS, AND STRUCTURAL CONDITIONS WITH STRUCTURAL DRAWINGS. NOTIFY ARCHITECT/ENGINEER OF RECORD OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
2. ROOF ELEVATION INDICATED ON ARCHITECTURAL DRAWINGS ARE FOR REFERENCE ONLY AS THE THICKNESS/VALUE OF ROOF AND HEIGHT OF STRUCTURE AS SPECIFIED WILL DEFINE THE ACTUAL ROOF ELEVATIONS.
3. NOT ALL ROOF PENETRATIONS ARE INDICATED ON THE ARCHITECTURAL ROOF PLAN. VERIFY ALL ROOF PENETRATIONS WITH MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS AS REQUIRED.
4. ROOF PENETRATIONS SHALL BE FLASHED AND/OR UTILIZE MANUFACTURED "BOOTS" AS TO PROVIDE WEATHER TIGHT SEAL.
5. SELECTED DETAILS HAVE BEEN CALLED OUT ON ROOF PLANS FOR CLARITY. THE ROOF DETAILS, WALL SECTIONS, PROJECT SPECIFICATIONS, AND MFR / WARRANTY REQ SHALL DEFINE THE FULL EXTENT OF ROOF DESIGN.
6. MINIMUM SLOPE IS 1/4" PER 12"

KEYNOTE LEGEND	
Key Value	Keynote Text
R1	COLLECTOR HEAD WITH INTEGRAL OVERFLOW AND DOWNSPOUT TO SPLASH BLOCK
R2	OPEN FRAMED AWNING; TIE TO STRUCTURE
R3	STANDING SEAM METAL ROOF; OVERHANG 1'-0" ALL SIDES
R4	WHITE TPO ROOFING SYSTEM
R6	DOWNSPOUT TO SPLASH BLOCK



1 ROOF PLAN  
1/8" = 1'-0"

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SHEET TITLE:  
ROOF PLAN

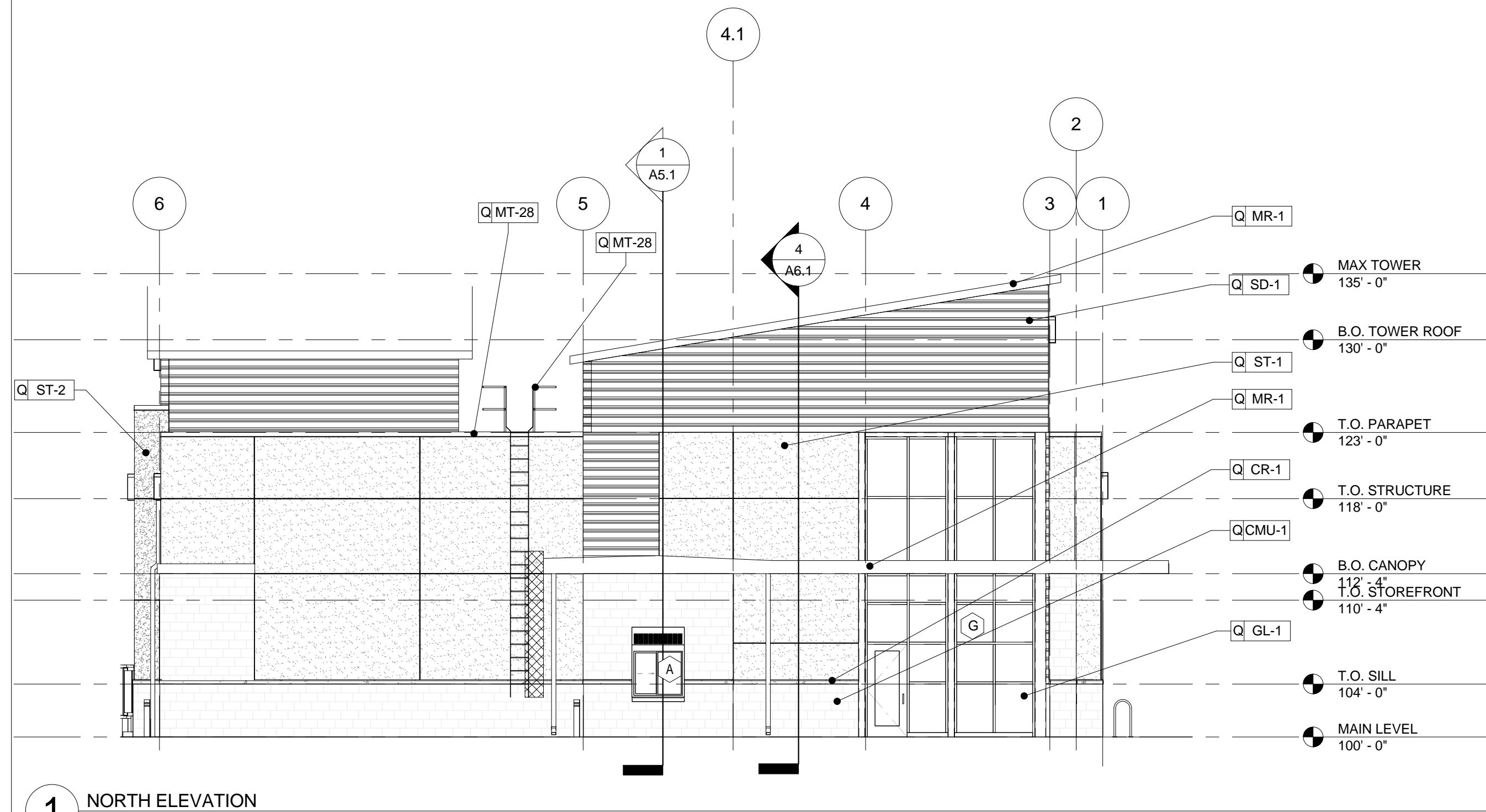
SHEET:

A2.3

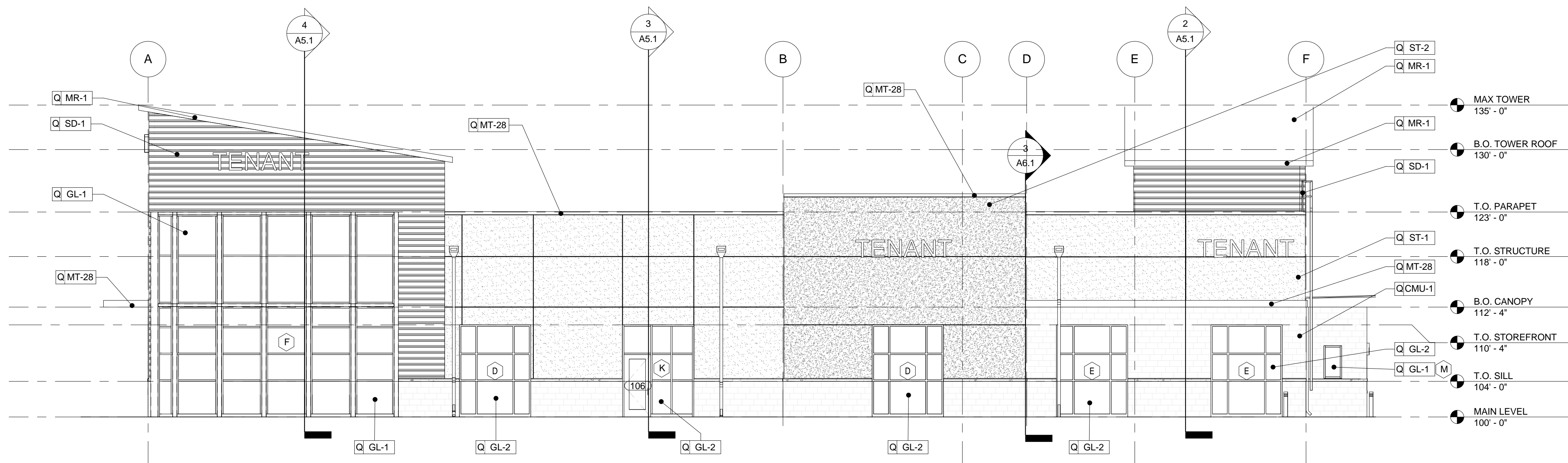
**BUILDING ELEVATIONS GENERAL NOTES:**

1. REFER TO FLOOR PLANS FOR DIMENSIONS AND LOCATIONS OF OPENINGS.
2. REFER TO A8.1 FOR DOOR AND WINDOW SCHEDULE AND ELEVATIONS.
3. OPENINGS FOR DOORS, WINDOWS, LOUVERS, ETC MUST BE VERIFIED WITH MFR ROUGH OPENING REQUIREMENTS. ARCHITECTURAL DIMENSION PLANS ARE INTENDED TO LOCATE FEATURES OF THE BUILDING AND ARE NOT INTENDED TO BE USED AS CONSTRUCTION COORDINATION DRAWINGS.
4. ROOF LADDER TO HAVE A LOCKING SECURITY GATE TO RESTRICT ACCESS TO AUTHORIZED PERSONS ONLY.
5. EXTERIOR SIGNAGE BY TENANTS.

EXTERIOR FINISH SCHEDULE - 'Q'			
MATERIAL ID	DESCRIPTION	FINISH STYLE	COMMENTS
CMU-1	BASALITE 807-R	STANDARD SIZE, 3/8 IN JOINT; COMB FINISH	1/3 OFFSET BOND; GROUT TO MATCH SGS-60A
CR-1	PRE-CAST CONCRETE SILL	LIGHT GREY CONCRETE; TROWEL FINISH	
GL-1	DOUBLE PANE WITH LOW-E, CLEAR GLAZING	CLEAR DOUBLE PANE LOW-E, SAFETY GLAZING TO COMPLY WITH IBC SECTION 2406	
GL-2	DOUBLE PANE WITH LOW-E, CLEAR GLAZING, TEMPERED	SPANDREL, SAFETY GLAZING TO COMPLY WITH IBC SECTION 2406	
MR-1	STANDING SEAM METAL ROOF	BERRIDGE HIGH SEAM TEE-PANEL; COLOR TO MATCH SHASTA WHITE	
MT-5	METAL / ALUMINUM STOREFRONT	DARK BRONZE	
MT-13	METAL FASCIA PANEL	COLOR TO MATCH SHASTA WHITE	
MT-28	METAL	FINISH TO MATCH BLACK FOX - SW7020	
SD-1	BERRIDGE HS-8	CHARCOAL GREY	
ST-1	ELREY STUCCO	FINISH TO MATCH PAREX PLATEAU; FINE SAND FINISH	
ST-2	ELREY STUCCO	FINISH TO MATCH PAREX BASALT; FINE SAND FINISH	



**1 NORTH ELEVATION**  
1/8" = 1'-0"



**2 EAST ELEVATION**  
1/8" = 1'-0"

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SHEET TITLE: EXTERIOR ELEVATIONS	

SHEET:

**A4.1**

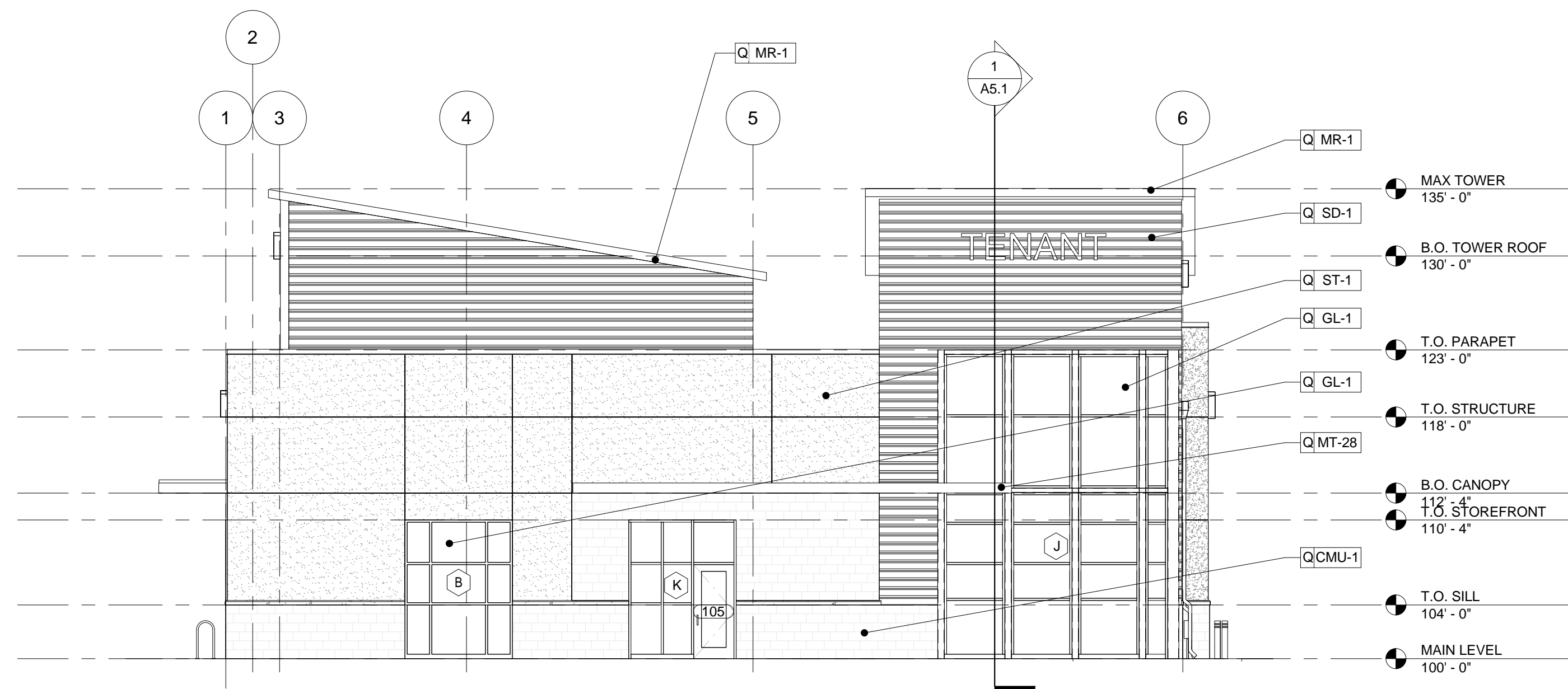
RED CLIFFS PLAZA

880 W. Red Cliffs Drive  
Washington, Utah 84780

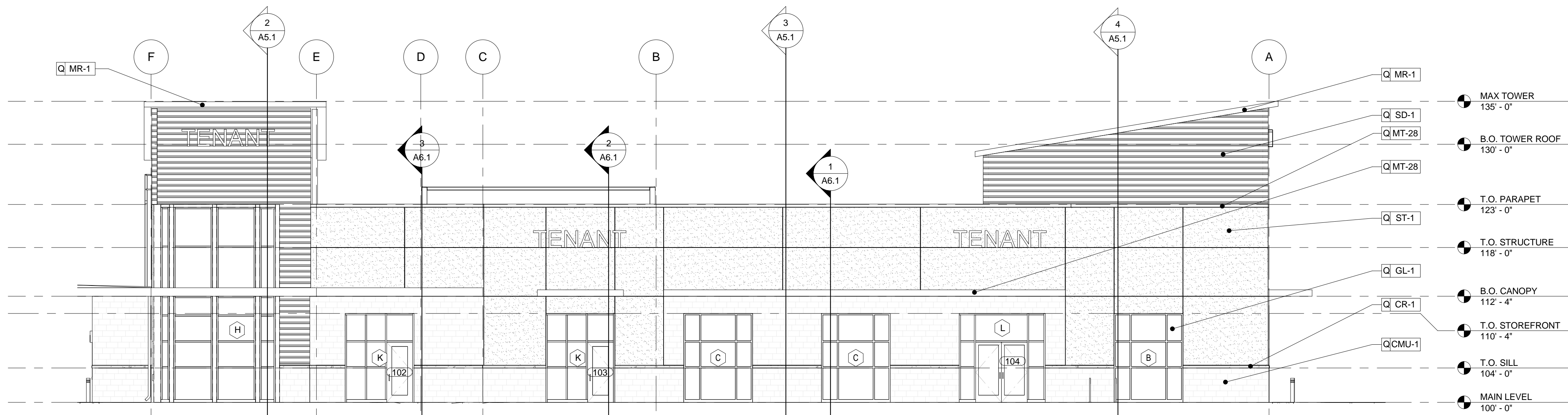
**BUILDING ELEVATIONS GENERAL NOTES:**

1. REFER TO FLOOR PLANS FOR DIMENSIONS AND LOCATIONS OF OPENINGS.
2. REFER TO A8.1 FOR DOOR AND WINDOW SCHEDULE AND ELEVATIONS.
3. OPENINGS FOR DOORS, WINDOWS, LOUVERS, ETC. MUST BE VERIFIED WITH MFR ROUGH OPENING REQUIREMENTS. ARCHITECTURAL DIMENSION PLANS ARE INTENDED TO LOCATE FEATURES OF THE BUILDING AND ARE NOT INTENDED TO BE USED AS CONSTRUCTION COORDINATION DRAWINGS.
4. ROOF LADDER TO HAVE A LOCKING SECURITY GATE TO RESTRICT ACCESS TO AUTHORIZED PERSONS ONLY.
5. EXTERIOR SIGNAGE BY TENANTS.

EXTERIOR FINISH SCHEDULE - 'Q'			
MATERIAL ID	DESCRIPTION	FINISH/STYLE	COMMENTS
CMU-1	BASALITE 807-R	STANDARD SIZE; 3/8 IN JOINT; COMB FINISH	1/3 OFFSET BOND; GROUT TO MATCH SGS-60A
CR-1	PRE-CAST CONCRETE SILL	LIGHT GREY CONCRETE; TROWEL FINISH	
GL-1	DOUBLE PANE WITH LOW-E, CLEAR GLAZING	CLEAR DOUBLE PANE LOW-E, SAFETY GLAZING TO COMPLY WITH IBC SECTION 2406	
GL-2	DOUBLE PANE WITH LOW-E, CLEAR GLAZING, TEMPERED	SPANDREL, SAFETY GLAZING TO COMPLY WITH IBC SECTION 2406	
MR-1	STANDING SEAM METAL ROOF	BERRIDGE HIGH SEAM TEE-PANEL; COLOR TO MATCH SHASTA WHITE	
MT-5	METAL / ALUMINUM STOREFRONT	DARK BRONZE	
MT-13	METAL FASCIA PANEL	COLOR TO MATCH SHASTA WHITE	
MT-28	METAL	FINISH TO MATCH BLACK FOX - SW7020	
SD-1	BERRIDGE HS-8	CHARCOAL GREY	
ST-1	ELREY STUCCO	FINISH TO MATCH PAREX PLATEAU; FINE SAND FINISH	
ST-2	ELREY STUCCO	FINISH TO MATCH PAREX BASALT; FINE SAND FINISH	



1 SOUTH ELEVATION  
1/8" = 1'-0"



2 WEST ELEVATION  
1/8" = 1'-0"

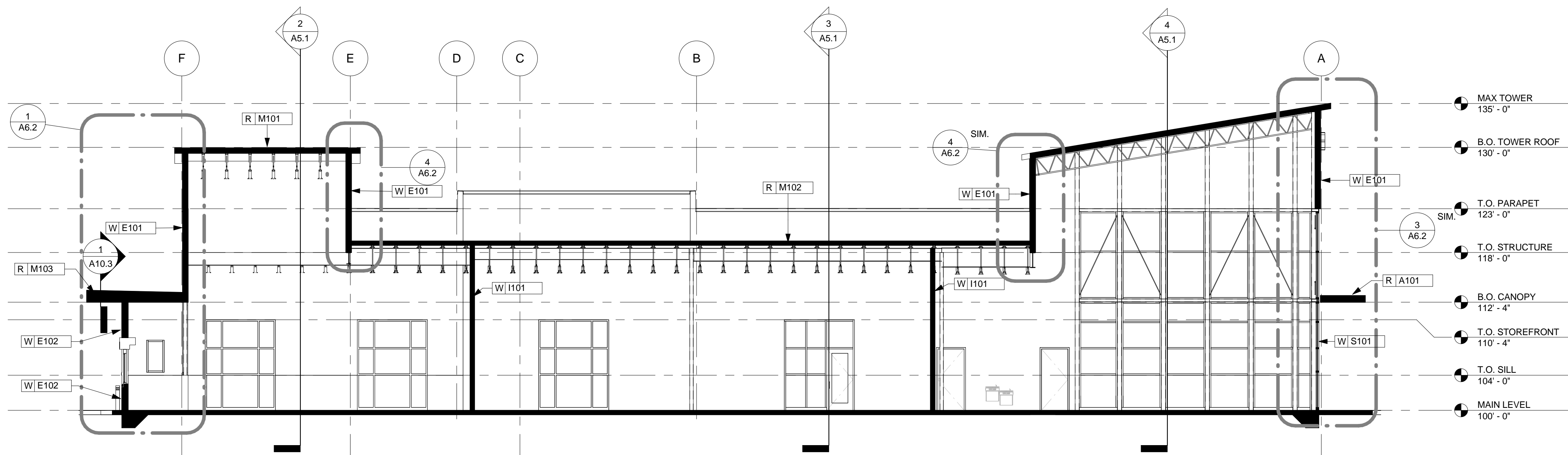
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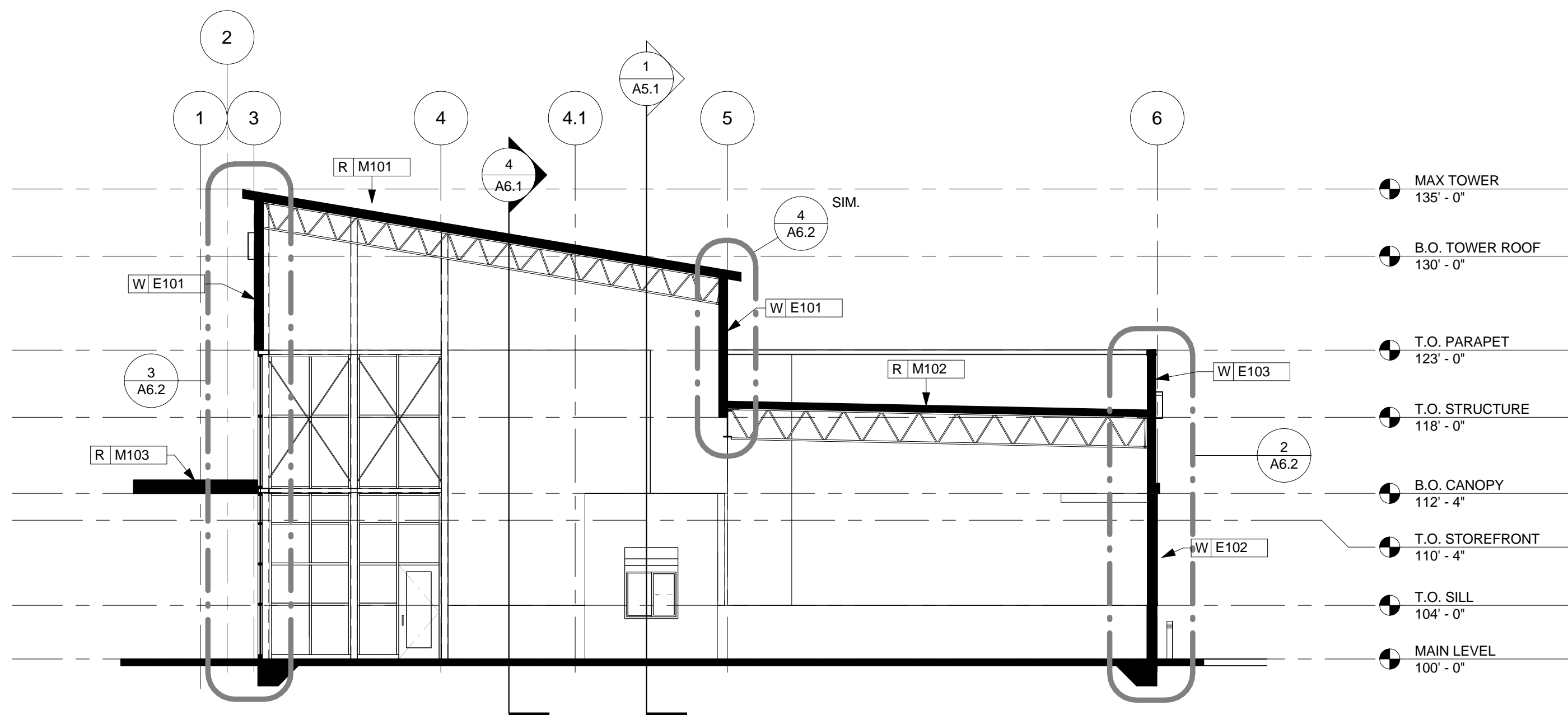
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			APPROVED BY: RD
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			SHEET TITLE: EXTERIOR ELEVATIONS

SHEET:

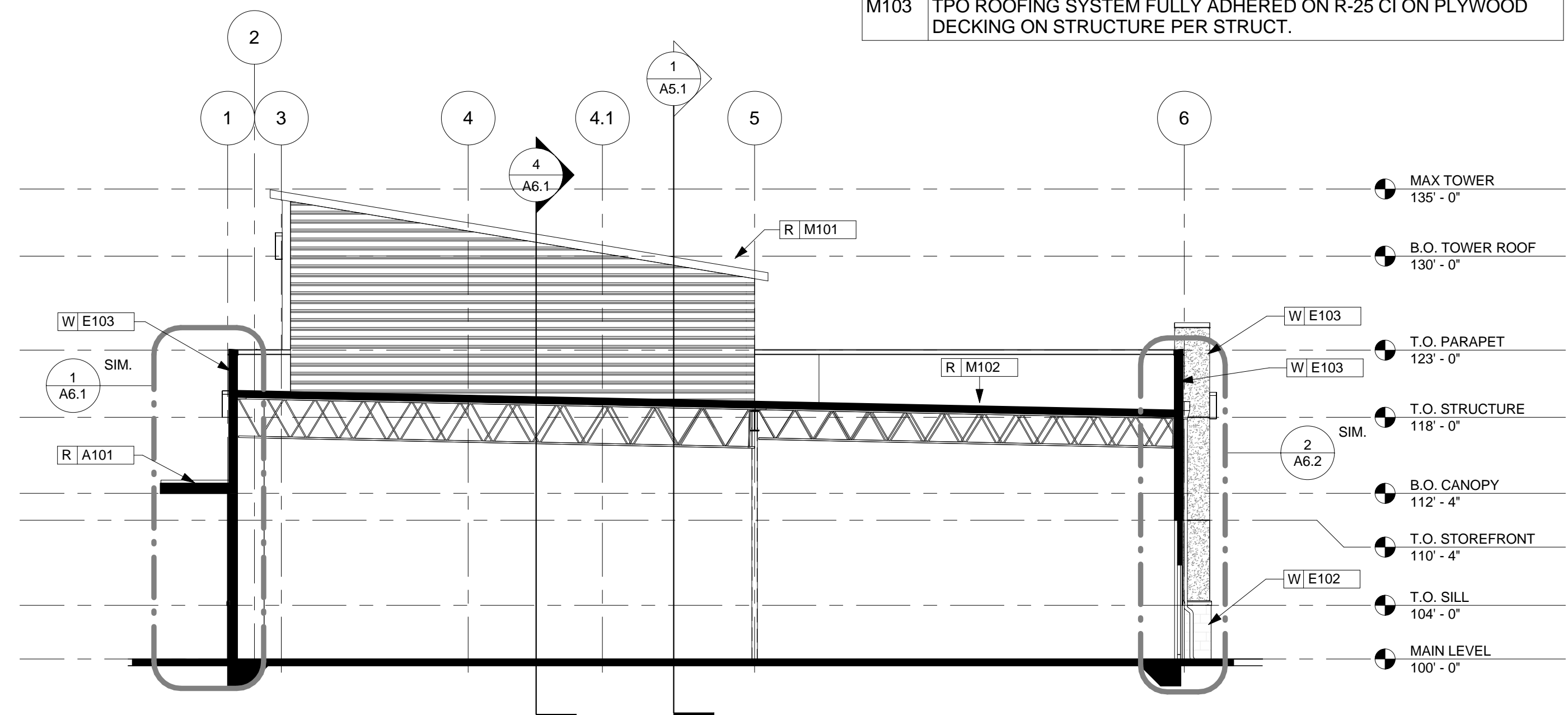
A4.2



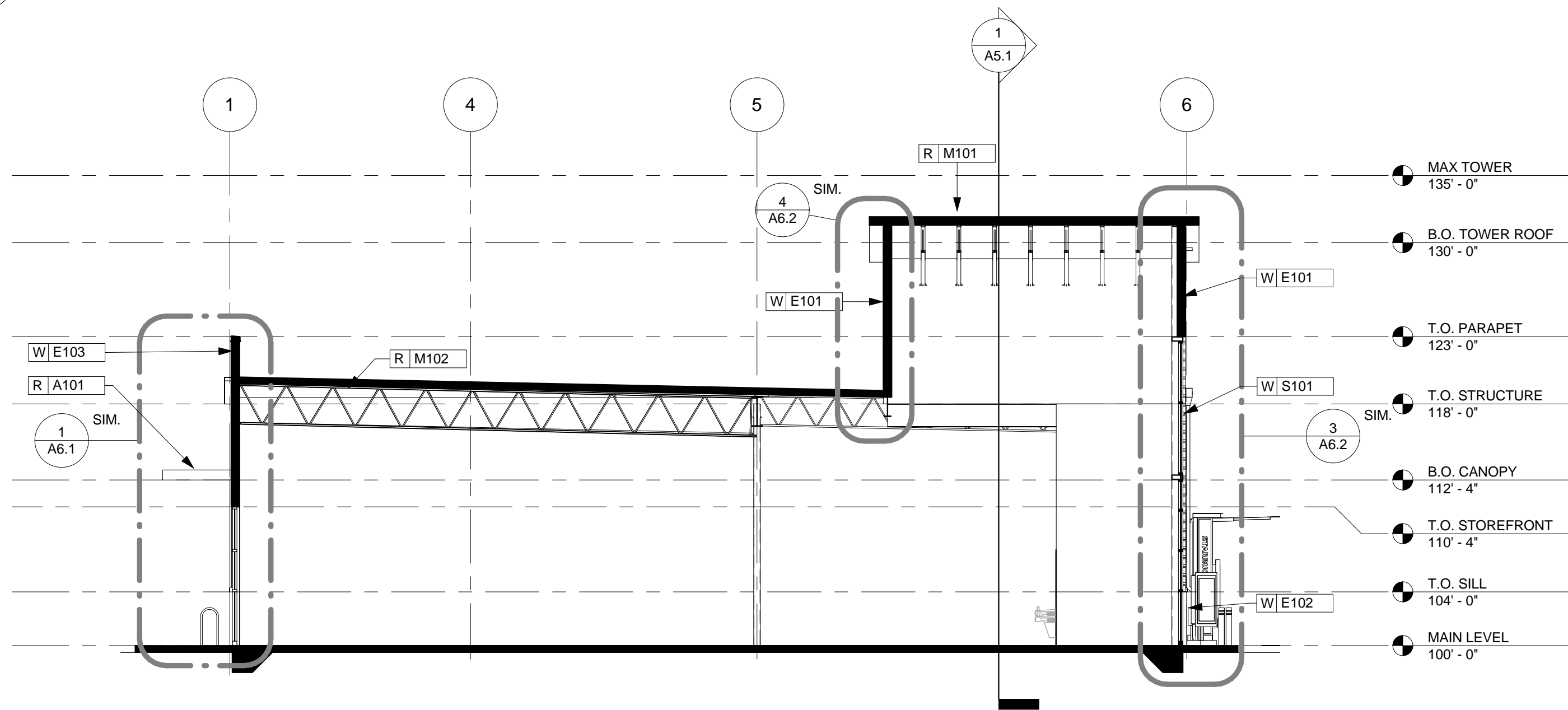
1 NORTH SOUTH BUILDING SECTION  
1/8" = 1'-0"



2 EAST WEST BUILDING SECTION 1  
1/8" = 1'-0"



3 EAST WEST BUILDING SECTION 2  
1/8" = 1'-0"



4 EAST WEST BUILDING SECTION 3  
1/8" = 1'-0"

Wall Type Schedule - 'W'	
Type Mark	Type Comments
E101	BERRIDGE HS-8 METAL PANEL SYSTEM ON BUILDING WRAP ON 1/2" SHEATHING ON SHEATHING RE: STRUCT. ON 6" WOOD STUDS WITH R-21 INSULATION; VAPOR BARRIER ON WARM SIDE WITH GYP. BD.; COORDINATE GYP. BD WITH TENANT REQUIREMENTS
E102	1 5/8" CMU ADHERED VENEER ON METAL LATHE ON 2 LAYERS #15 BUILDING FELT ON SHEATHING; RE: STRUCT. ON 6" WOOD STUDS WITH R-21 CAVITY INSULATION; VAPOR BARRIER ON WARM SIDE WITH GYP. BD.; COORDINATE GYP. BD WITH TENANT REQUIREMENTS
E103	3 COAT STUCCO SYSTEM ON METAL LATHE ON 2 LAYERS #15 BUILDING FELT ON SHEATHING PER STRUCT. ON 6" WOOD STUDS WITH R-21 CAVITY INSULATION; VAPOR BARRIER ON WARM SIDE WITH GYP. BD.; COORDINATE GYP. BD WITH TENANT REQUIREMENTS
H101	1 LAYER TYPE X GYP. BD ON EACH SIDE OF 3 5/8" METAL STUDS WITH R-19 INSULATION TO STRUCTURE; DEMISE WALL; COORDINATE GYP. BD WITH TENANT REQUIREMENTS
S101	STOREFRONT SYSTEM WITH DOUBLE PANE, LOW-E, UN-TINTED, GLASS
S102	STOREFRONT SYSTEM WITH DOUBLE PANE, LOW-E, UN-TINTED, GLASS

Roof Type Schedule	
Type Mark	Type Comments
A101	OPEN FRAME METAL AWNING; RE: STRUCT.
M101	STANDING SEAM METAL ROOF SYSTEM ON ICE AND WATER BARRIER ON 1/2" SHEATHING ON R-20 CI ON METAL DECKING ON STRUCTURE PER STRUCT.
M102	TPO ROOFING SYSTEM FULLY ADHERED TO R-25 CI ON PLYWOOD DECKING ON STRUCTURE PER STRUCT.
M103	TPO ROOFING SYSTEM FULLY ADHERED ON R-25 CI ON PLYWOOD DECKING ON STRUCTURE PER STRUCT.

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SHEET TITLE:  
BUILDING SECTION

SHEET:  
A5.1





DOOR & FRAME SCHEDULE													
Door Number	Door					Frame		Details			Door Hardware Set	Comments	
	Type	Finish	Width	Single/ Pair	Height	Thickness	Type	Finish	Head	Jamb			Sill
101	D19	Dark Bronze	3' - 0"	Single	7' - 0"	1 3/4"	Aluminum Storefront	Dark Bronze	PER MANU. SPEC	6&7/A8.2 SIM.	3/A8.2	2.0	
102	D19	Dark Bronze	3' - 0"	Single	7' - 0"	1 3/4"	Aluminum Storefront	Dark Bronze	PER MANU. SPEC	6&7/A8.2 SIM.	3/A8.2	2.0	
103	D19	Dark Bronze	3' - 0"	Single	7' - 0"	1 3/4"	Aluminum Storefront	Dark Bronze	PER MANU. SPEC	6&7/A8.2 SIM.	3/A8.2	2.0	
104	D20	Dark Bronze	6' - 0"	Pair	7' - 0"	1 3/4"	Aluminum Storefront	Dark Bronze	PER MANU. SPEC	6&7/A8.2 SIM.	3/A8.2	1.0	
105	D19	Dark Bronze	3' - 0"	Single	7' - 0"	1 3/4"	Aluminum Storefront	Dark Bronze	PER MANU. SPEC	6&7/A8.2 SIM.	3/A8.2	2.0	
106	D19	Dark Bronze	3' - 0"	Single	7' - 0"	1 3/4"	Aluminum Storefront	Dark Bronze	PER MANU. SPEC	6&7/A8.2 SIM.	3/A8.2	2.0	
107	D4	Factory Primered	3' - 0"	Single	7' - 0"	1 3/4"	Hollow Metal	Primered	15/A8.2	16/A8.2	N/A	3.0	
108	D4	Factory Primered	3' - 0"	Single	7' - 0"	1 3/4"	Hollow Metal	Primered	15/A8.2	16/A8.2	N/A	4.0	
109	D4	Factory Primered	3' - 0"	Single	7' - 0"	1 3/4"	Hollow Metal	Primered	15/A8.2	16/A8.2	N/A	4.0	

Exterior Window Schedule													
Window Type	Description	Window			Grid to Mullion Face	Glazing Type	Frame		Details			Type Comments	
		Width	Height	Sill Height			Type	Finish	Head	Jamb	Sill		
A	WINDOW - DT WITH OPEN TRANSOM - 48X60IN 1205X1510MM - ALUMINIUM	3' - 11 1/2"	5' - 4"	3' - 0"	2 1/8"	Double Pane Insulated Low-E	Butt	Dark Bronze	1/A8.2	6/A8.2	10/A8.2	USE IN CONJUNCTION WITH AA300 HEATED AIR CURTAIN	
B	124 x 96 Window	8' - 0"	10' - 4"	0"	2 1/8"	Double Pane Insulated Low-E	Butt	Dark Bronze	4/A8.2	6&7/A8.2	12/A8.2		
C	124 x 96 Window	8' - 0"	10' - 4"	0"	2 1/8"	Double Pane Insulated Low-E	Butt	Dark Bronze	1/A8.2	6/A8.2	12/A8.2		
D	124 x 96 Spandrel Window	8' - 0"	10' - 4"	0"	2 1/8"	Double Pane Insulated Low-E Spandrel	Butt	Dark Bronze	4/A8.2	6&7/A8.2	12/A8.2		
E	124 x 96 Spandrel Window	8' - 0"	10' - 4"	0"	2 1/8"	Double Pane Insulated Low-E Spandrel	Butt	Dark Bronze	1/A8.2	6/A8.2	12/A8.2		

Storefront Window Schedule													
Window Type	Description	Window				Grid to Mullion Face	Glazing Type	Frame		Details			Type Comments
		Width	Height	Base Level	Base Offset			Type	Finish	Head	Jamb	Sill	
F	STOREFRONT WINDOW SYSTEM	26' - 5 1/2"	22' - 8 15/64"	MAIN LEVEL	0"	3 1/2"	Double Pane Insulated Low-E	Butt	Dark Bronze	2/A8.2	6&7/A8.2	12/A8.2	STOREFRONT SYSTEM WITH DOUBLE PANE, LOW-E, UN-TINTED, GLASS
G	STOREFRONT WINDOW SYSTEM	12' - 9 221/256"	22' - 8 5/128"	MAIN LEVEL	0"	3 1/2"	Double Pane Insulated Low-E	Butt	Dark Bronze	4/A8.2	7&14/A8.2	12/A8.2	STOREFRONT SYSTEM WITH DOUBLE PANE, LOW-E, UN-TINTED, GLASS
H	STOREFRONT WINDOW SYSTEM	13' - 3 147/256"	22' - 8 1/64"	MAIN LEVEL	0"	3 1/2"	Double Pane Insulated Low-E	Butt	Dark Bronze	2/A8.2	6&14/A8.2	12/A8.2	STOREFRONT SYSTEM WITH DOUBLE PANE, LOW-E, UN-TINTED, GLASS
J	STOREFRONT WINDOW SYSTEM	16' - 7 1/2"	22' - 7 121/128"	MAIN LEVEL	0"	3 1/2"	Double Pane Insulated Low-E	Butt	Dark Bronze	2/A8.2	6&14/A8.2	12/A8.2	STOREFRONT SYSTEM WITH DOUBLE PANE, LOW-E, UN-TINTED, GLASS
K	STOREFRONT WINDOW SYSTEM	8' - 0"	10' - 4"	MAIN LEVEL	0"	2 1/8"	Double Pane Insulated Low-E	Butt	Dark Bronze	4/A8.2	6&7/A8.2	12/A8.2	STOREFRONT SYSTEM WITH DOUBLE PANE, LOW-E, UN-TINTED, GLASS
L	STOREFRONT WINDOW SYSTEM	10' - 0"	10' - 4"	MAIN LEVEL	0"	2 1/8"	Double Pane Insulated Low-E	Butt	Dark Bronze	1/A8.2	6/A8.2	12/A8.2	STOREFRONT SYSTEM WITH DOUBLE PANE, LOW-E, UN-TINTED, GLASS
M	STOREFRONT WINDOW SYSTEM	2' - 0"	3' - 8"	T.O. SILL	4"	2 1/8"	Double Pane Insulated Low-E	Butt	Dark Bronze	1/A8.2	6/A8.2	13/A8.2	STOREFRONT SYSTEM WITH DOUBLE PANE, LOW-E, UN-TINTED, GLASS

### DOOR AND WINDOW GENERAL NOTES

- REFER TO PROJECT SPECIFICATIONS FOR DETAILED REQUIREMENTS FOR MANUFACTURE, FINISHING, AND INSTALLATION.
- DOORS, WINDOWS, HARDWARE AND OPERATORS SHALL COMPLY WITH LOCAL JURISDICTION ADOPTED BUILDING CODES AND NFPA 101 "LIFE SAFETY CODE" CURRENT EDITION.
- DOORS AND WINDOWS SHALL BE IN CONFORMANCE WITH WINDOW AND DOOR MANUFACTURERS ASSOCIATION (WDMA) AND/OR STEEL DOOR INSTITUTE (SDI) PUBLISHED STANDARDS. GRADES OF CUSTOM DOORS ARE AS DEFINED BY ARCHITECTURAL WOODWORK INSTITUTE (AWI) STANDARDS.
- ALL WOOD DOORS SHALL BE "CUSTOM GRADE" OR BETTER UNO AND STAINED IN FIELD.
- ALL INTERIOR WOOD DOORS TO BE BIRCH - SELECT WHITE UNO.
- ALL DOORS FACING EXTERIOR SHALL CONTAIN INTEGRAL BOARD INSULATION APPROPRIATE FOR THE CLIMATE.
- ALL GLASS AT EXTERIOR PERIMETER OF WALL IN DOORS AND WINDOWS TO BE 1" CLEAR INSULATED LOW-E GLAZING WITH A U-FACTOR NOT TO EXCEED .55 AND A SHGC NOT TO EXCEED .40. LITES IN INTERIOR DOORS NEED ONLY BE SINGLE PANE GLAZING.
- LITES SHALL BE HEAT STRENGTHENED AS REQUIRED BY CODES.
- AT ANY DOOR THAT OPENS IN SUCH A WAY AS TO STRIKE A WALL, WALL PROTECTION HARDWARE SHALL BE PROVIDED WITH APPROPRIATE CONCEALED BLOCKING TO PREVENT WALL DAMAGE.
- DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES MIN AND 48 INCHES MAX ABOVE THE FINISHED FLOOR. LOCKS USED ONLY FOR SECURITY PURPOSES AND NOT USED FOR NORMAL OPERATION ARE PERMITTED AT ANY HEIGHT.
- ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. ALL HARDWARE TO BE IBC / ANSI / ADA COMPLIANT.
- ALL STOREFRONT DOOR AND WINDOW FRAME FINISH TO BE KAWNEER #18 CHAMPAGNE OR SIMILAR.

DOOR TYPE/FINISH ACRONYMS ARE DEFINED AS FOLLOWS:

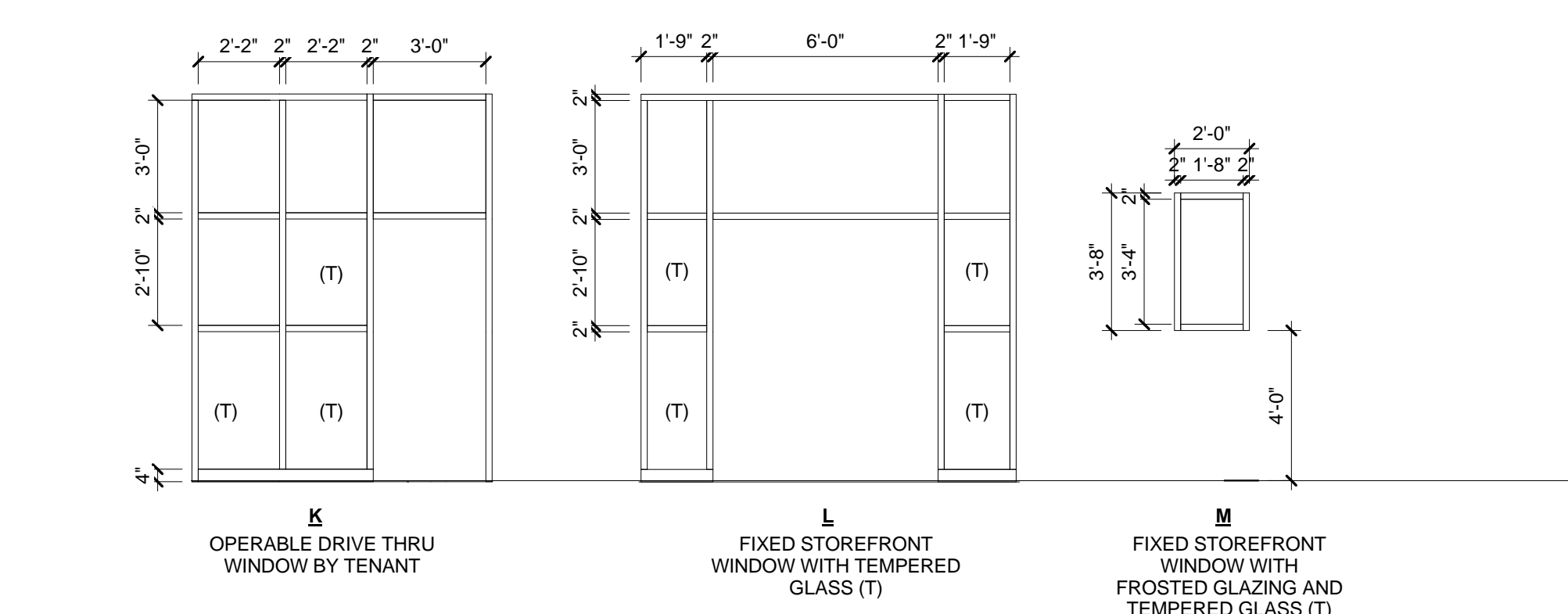
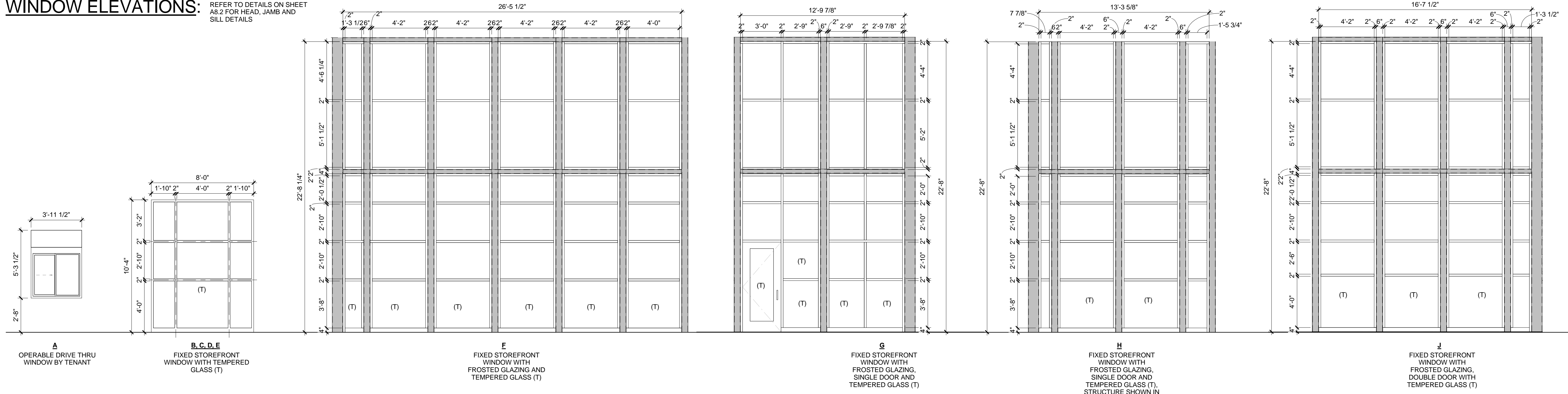
(T) TEMPERED GLAZING

HARDWARE SETS:

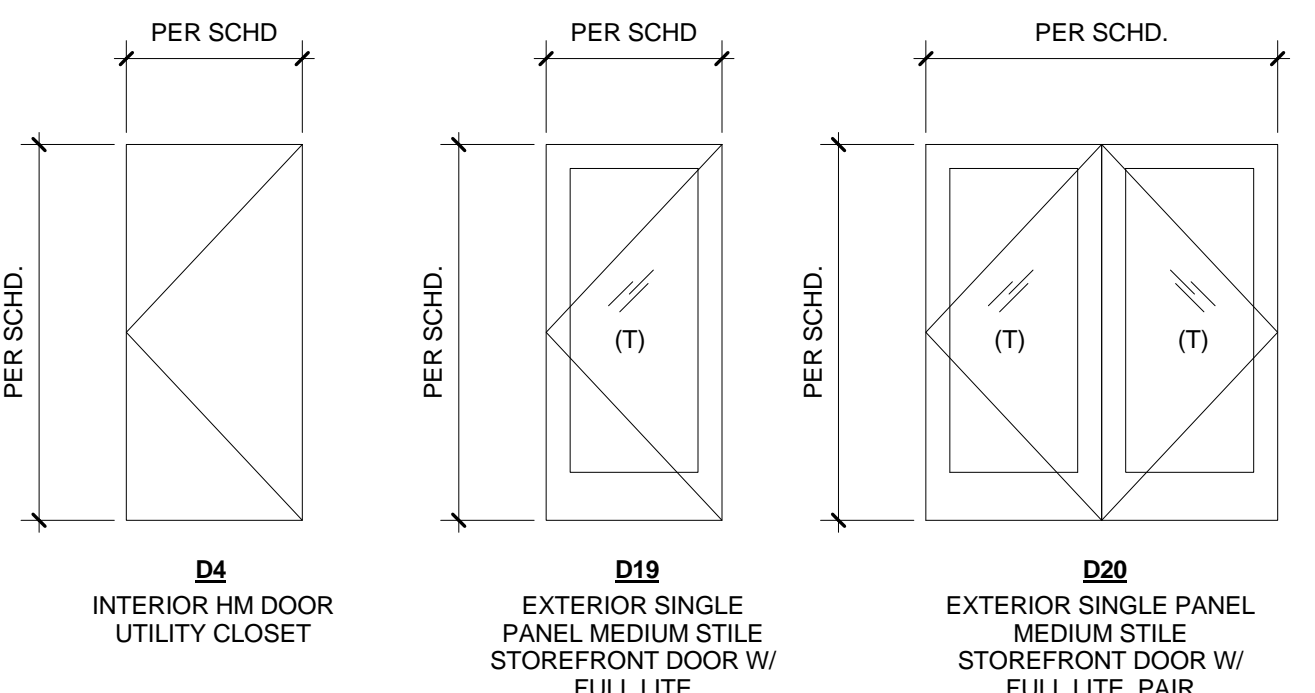
SEE PROJECT MANUAL

### WINDOW ELEVATIONS:

REFER TO DETAILS ON SHEET A8.2 FOR HEAD, JAMB AND SILL DETAILS



### DOOR LEAF TYPES:



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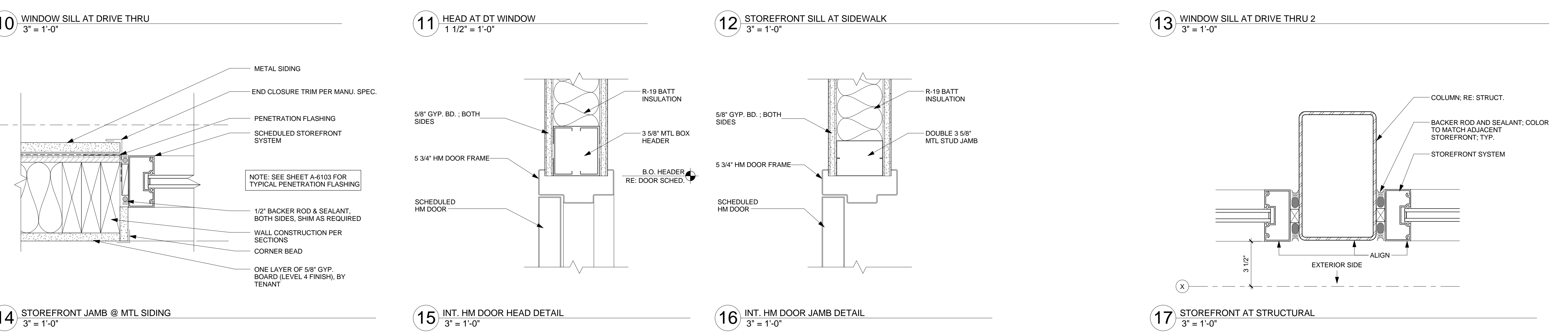
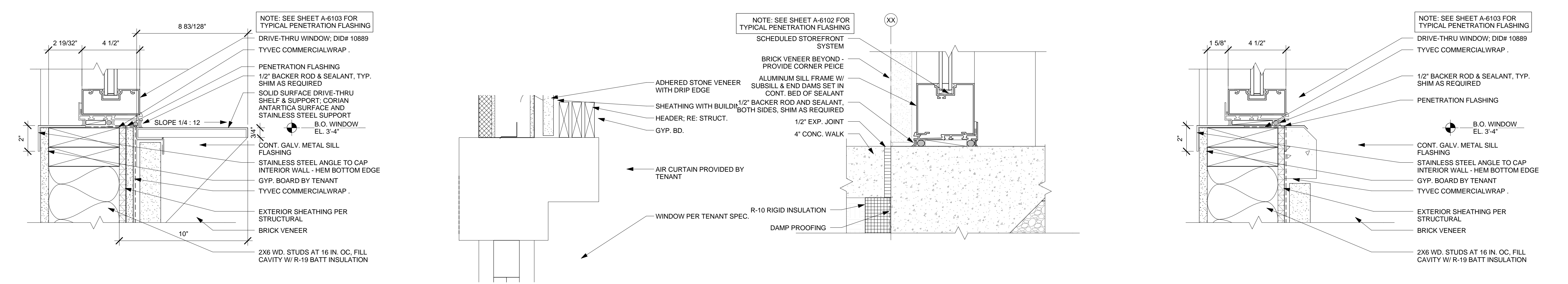
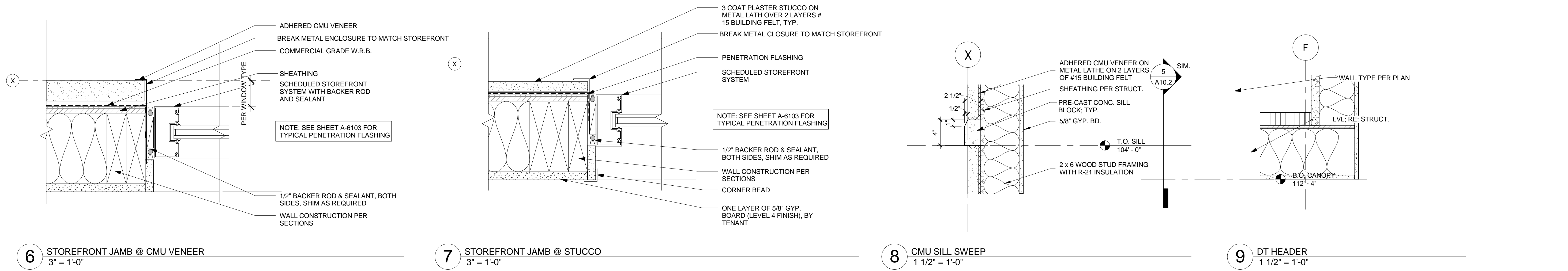
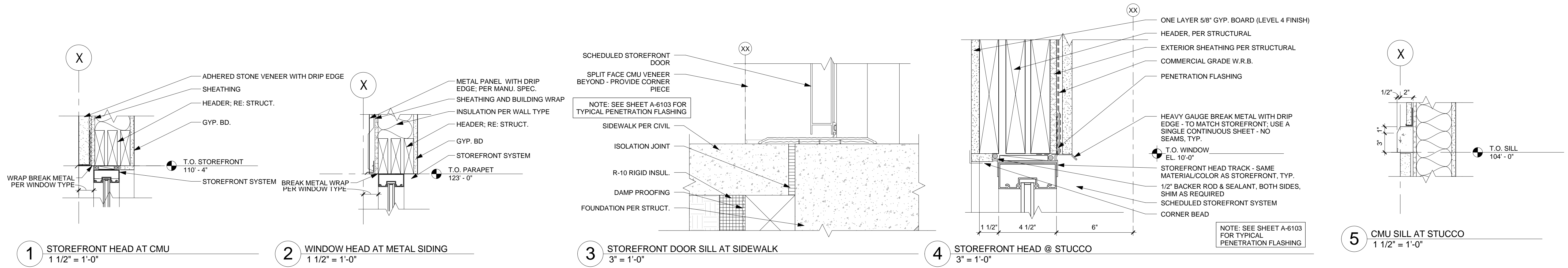
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	PERMIT/DIG SET <td>8/20/2015 </td>	8/20/2015

JOB NUMBER: 16025  
DRAWN BY: SLS  
APPROVED BY: RD  
DATE: 7/15/2016  
Original drawing is 24" x 36" | Scale entries accordingly if reduced

SHEET TITLE:  
DOOR & WINDOW SCHEDULES

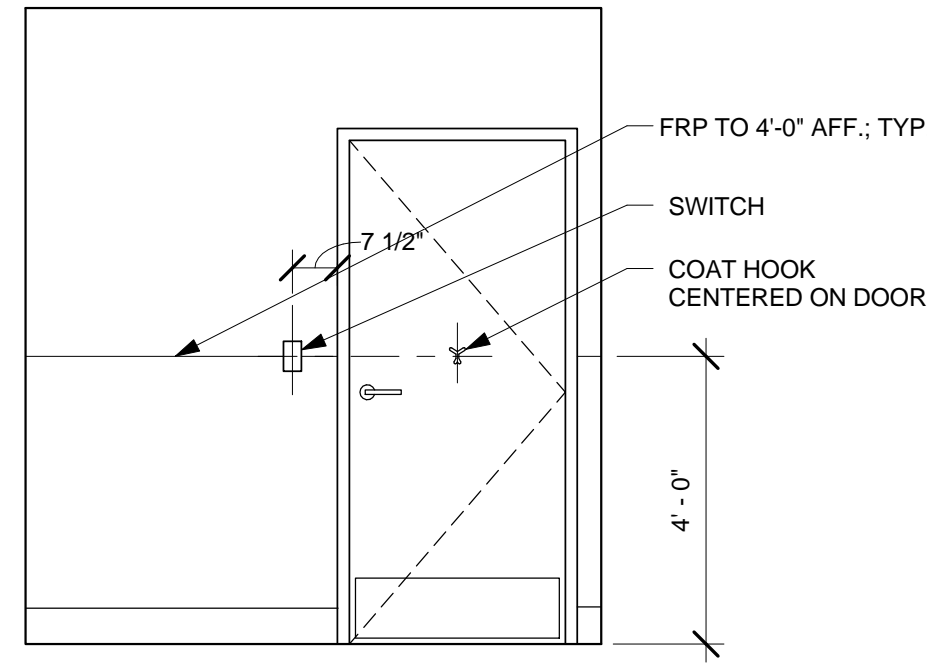
SHEET:  
A8.1



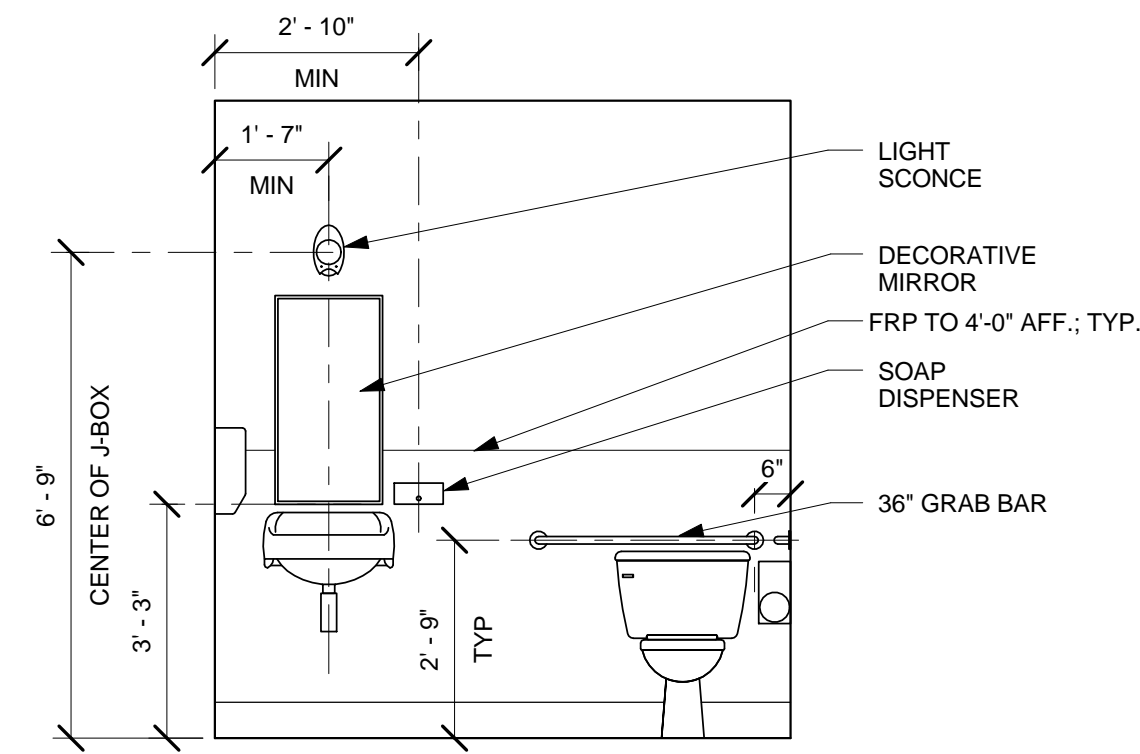


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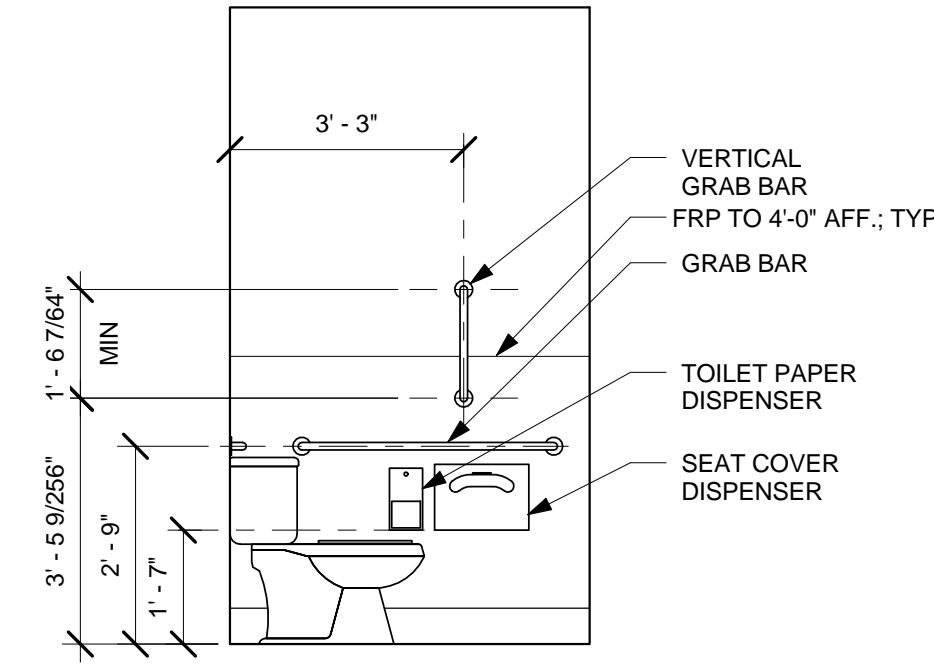
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APPROVED BY:	RD
DATE:	7/15/2016
Original drawing is 24" x 36"   Scale entries accordingly if reduced	
SHEET TITLE:	
EXTERIOR DOOR & WINDOW DETAILS	



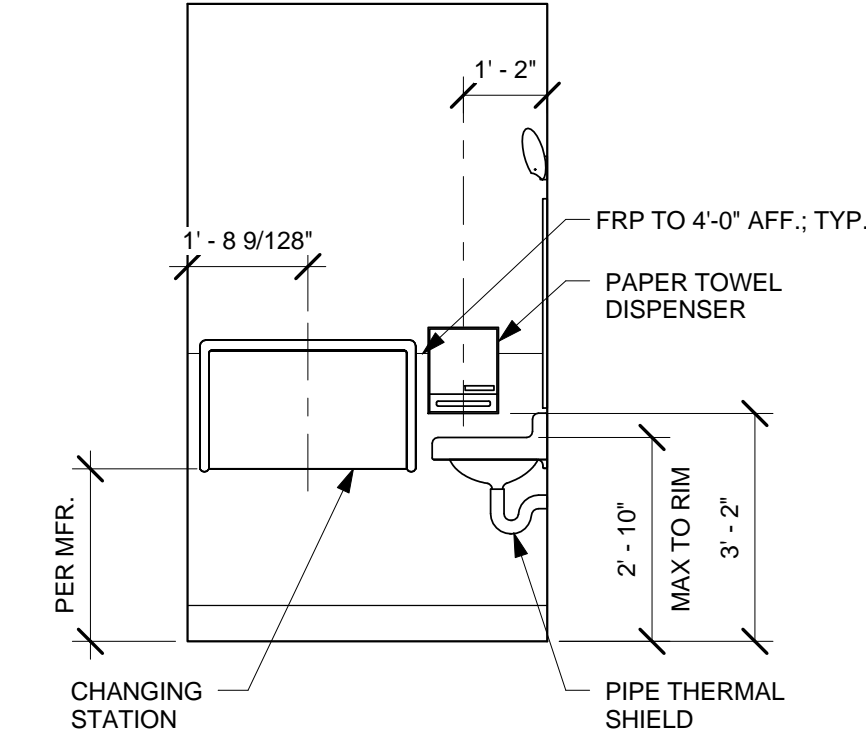
2 TYPICAL RR MOUNT HTS. @ DOOR  
3/8" = 1'-0"



3 TYPICAL RR MOUNT HTS. @ FRONT  
3/8" = 1'-0"

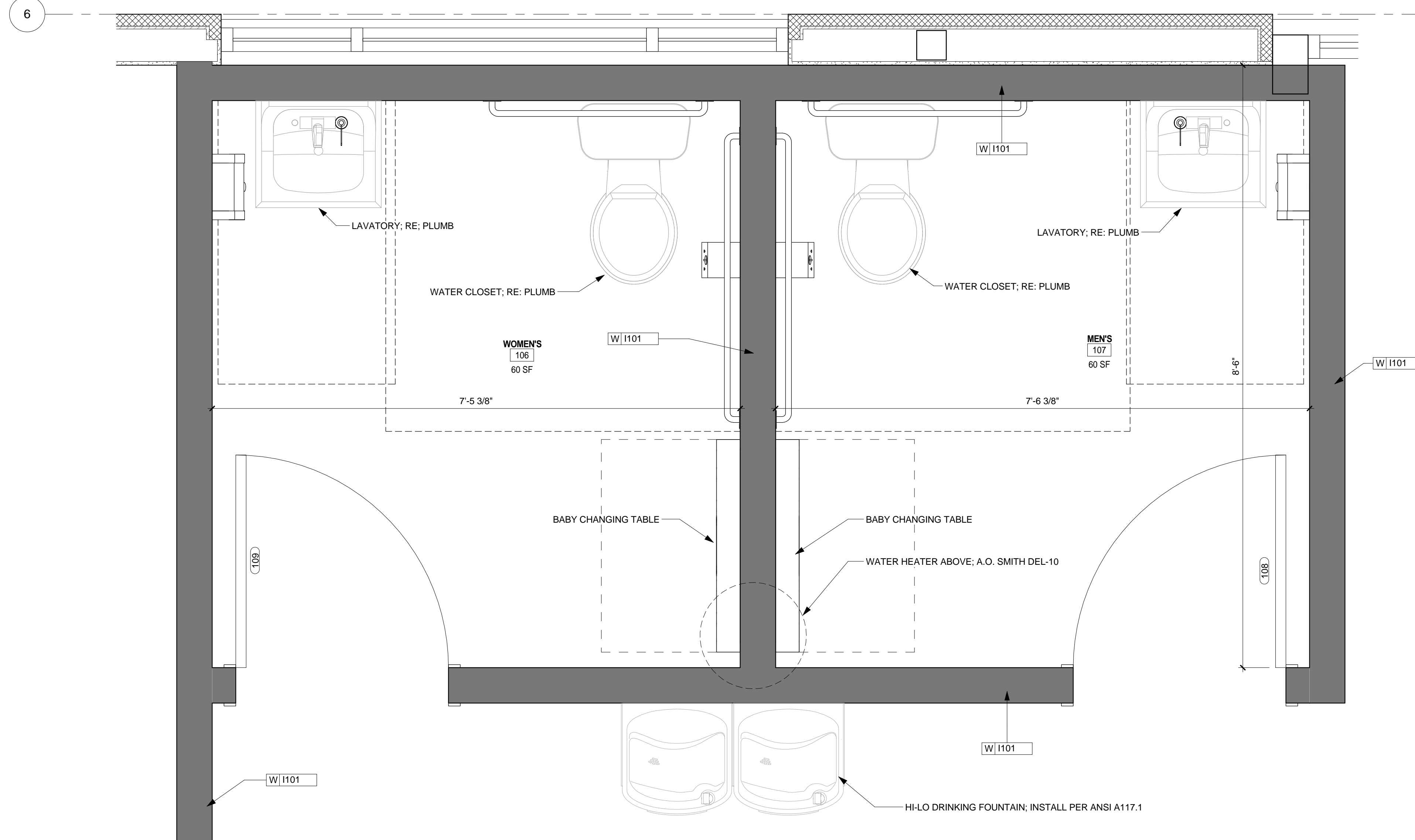


4 TYPICAL RR MOUNT HTS. @ SIDE  
3/8" = 1'-0"



5 TYPICAL RR MOUNT HTS. @ SINK SIDE  
3/8" = 1'-0"

Wall Type Schedule - 'W'	
Type Mark	Type Comments
E101	BERRIDGE HS-8 METAL PANEL SYSTEM ON BUILDING WRAP ON 1/2" SHEATHING ON SHEATHING RE; STRUCT. ON 6" WOOD STUDS WITH R-21 INSULATION; VAPOR BARRIER ON WARM SIDE WITH GYP. BD.; COORDINATE GYP. BD WITH TENANT REQUIREMENTS
E102	1 5/8" CMU ADHERED VENEER ON METAL LATHE ON 2 LAYERS #15 BUILDING FELT ON SHEATHING; RE; STRUCT. ON 6" WOOD STUDS WITH R-21 CAVITY INSULATION; VAPOR BARRIER ON WARM SIDE WITH GYP. BD.; COORDINATE GYP. BD WITH TENANT REQUIREMENTS
E103	3 COAT STUCCO SYSTEM ON METAL LATHE ON 2 LAYERS #15 BUILDING FELT ON SHEATHING PER STRUCT. ON 6" WOOD STUDS WITH R-21 CAVITY INSULATION; VAPOR BARRIER ON WARM SIDE WITH GYP. BD.; COORDINATE GYP. BD WITH TENANT REQUIREMENTS
I101	1 LAYER TYPE X GYP. BD ON EACH SIDE OF 3 5/8" METAL STUDS WITH R-19 INSULATION TO STRUCTURE; DEMISE WALL; COORDINATE GYP. BD WITH TENANT REQUIREMENTS
S101	STOREFRONT SYSTEM WITH DOUBLE PANE, LOW-E, UN-TINTED, GLASS
S102	STOREFRONT SYSTEM WITH DOUBLE PANE, LOW-E, UN-TINTED, GLASS



1 ENLARGED RESTROOM PLAN  
1" = 1'-0"

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			16025
			DRAWN BY: Author
			APPROVED BY: Approver
			DATE: 7/15/2016
			Original drawing is 24" x 36"   Scale entries accordingly if reduced
			SHEET TITLE: RESTROOM ENLARGED PLAN

SHEET:

A9.1

**PARTITION TYPES - GENERAL NOTES:**

1. REFER TO GENERAL INFORMATION SHEETS AND PROJECT MANUAL FOR ABBREVIATIONS, SYMBOLS, AND ADDITIONAL NOTES.
2. REFER TO OVERALL FLOOR PLANS AND ENLARGED PLANS FOR DESIGNATION OF PARTITION TYPES.
3. WHERE TWO DIFFERING PARTITION TYPES ABUT IN LINE AND ALONG A CONTINUOUS LENGTH OF PARTITIONS, THE PRIMARY EXPOSED CONTINUOUS FINISHED SURFACES OF THESE PARTITIONS SHALL ALIGN UNLESS NOTED OTHERWISE.
4. INCREASED METAL STUD GAUGE OR TIGHTER STUD SPACING SHALL BE AS REQUIRED FOR HEIGHT OF PARTITION. MAXIMUM ALLOWABLE DEFLECTION SHALL BE L/240.
5. USE 5/8" TYPE "X" GYPSUM BOARD AT RATED PARTITIONS. USE 5/8" STANDARD GYPSUM BOARD AT ALL OTHER LOCATIONS UNO.
6. USE MOLD/MOISTURE RESISTANT GYP BOARD FOR CEILINGS IN ROOMS CONTAINING SHOWERS. MINIMUM FRAMING TO BE 1'-0" ON CENTER.
7. ACOUSTICAL BATT INSULATION TO TERMINATE AT THE STRUCTURE UNLESS NOTED OTHERWISE.

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	PERMIT/ID SET	8/20/2015

JOB NUMBER: 16025

DRAWN BY: SLS

APPROVED BY: RD

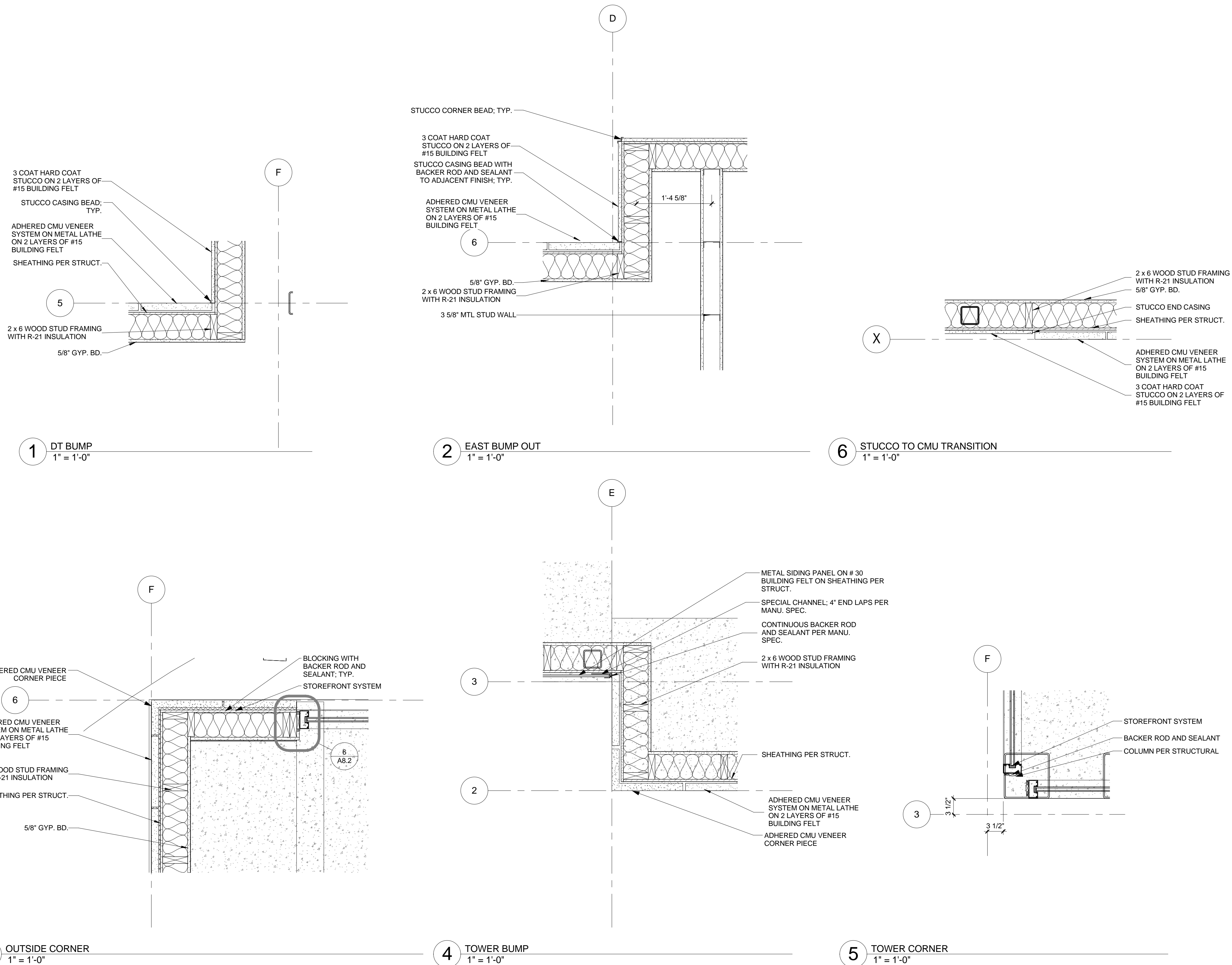
DATE: 7/15/2016

Original drawing is 24" x 36" | Scale entries  
accordingly if reduced

SHEET TITLE:  
**PARTITION TYPES &  
PLAN DETAILS**

SHEET:

**A10.1**







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DATE

JOB NUMBER: 16025

DRAWN BY: SLS

APPROVED BY: RD

DATE: 7/15/2016

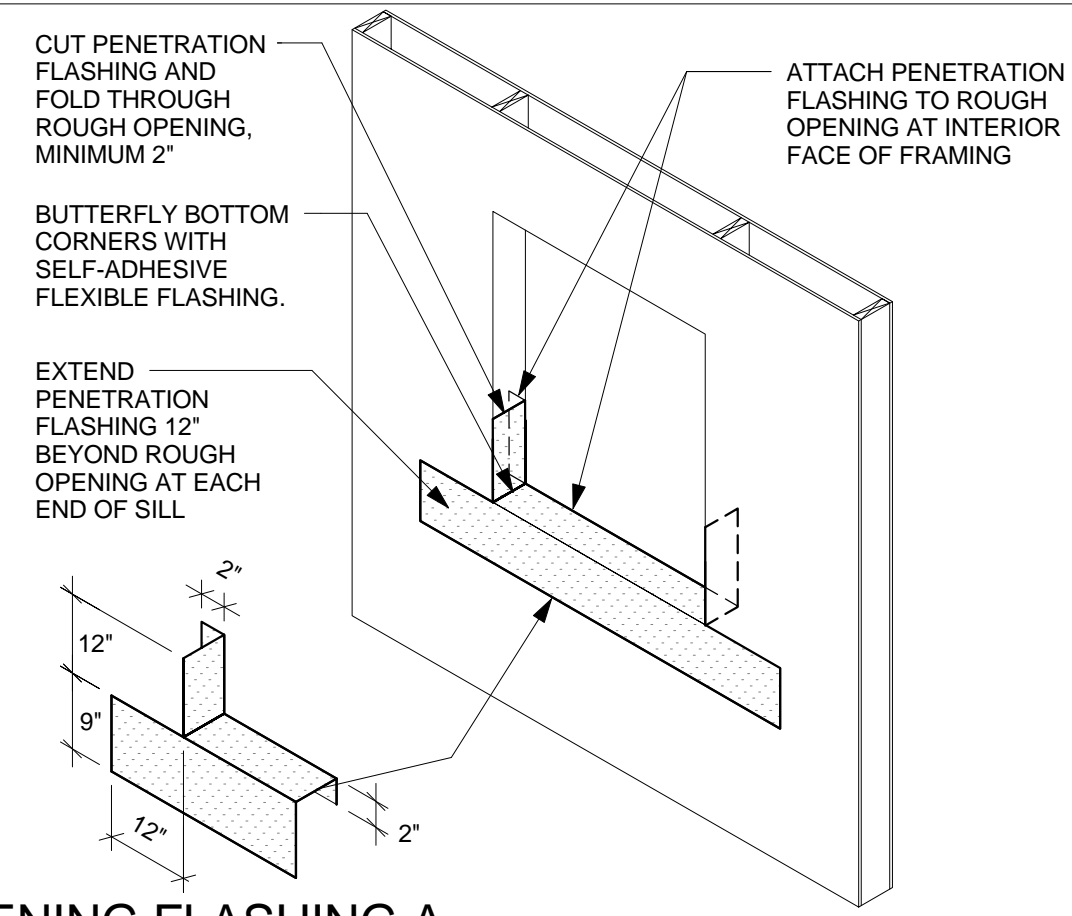
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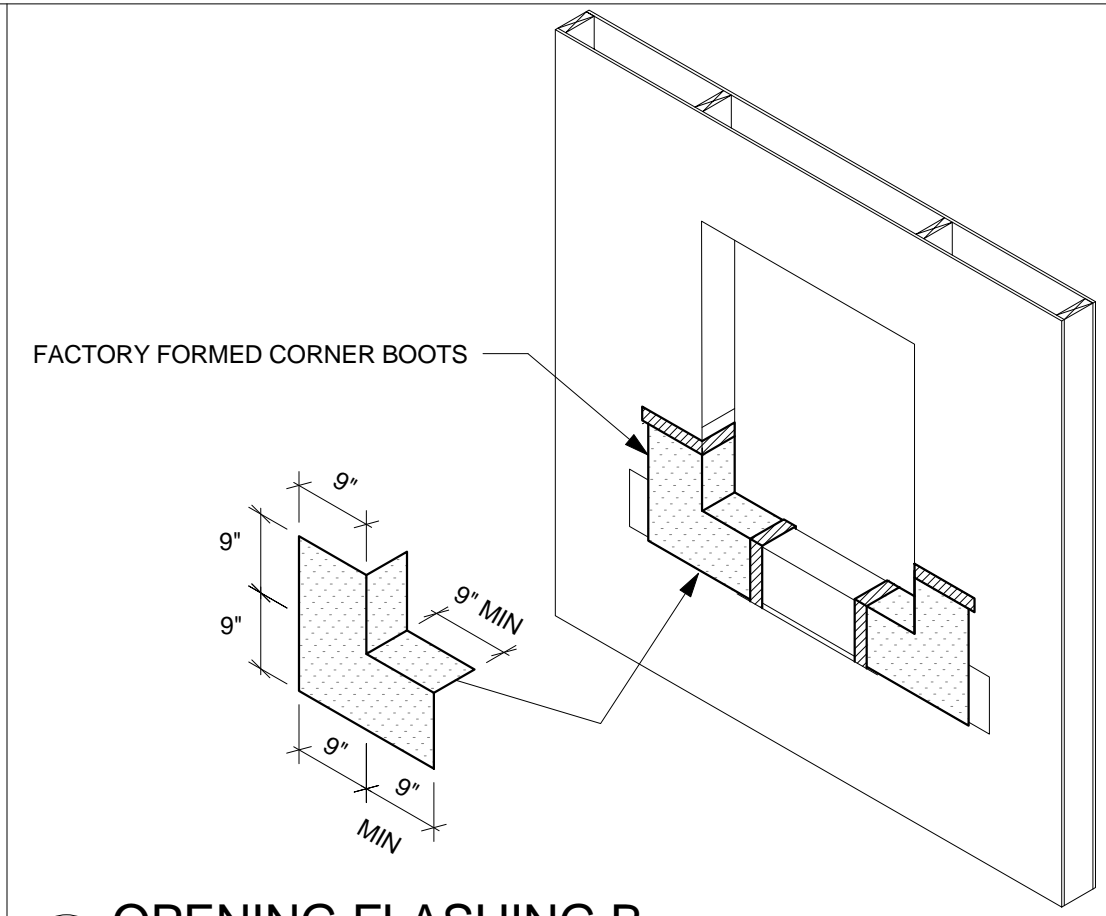
FLASHING DETAILS

SHEET:

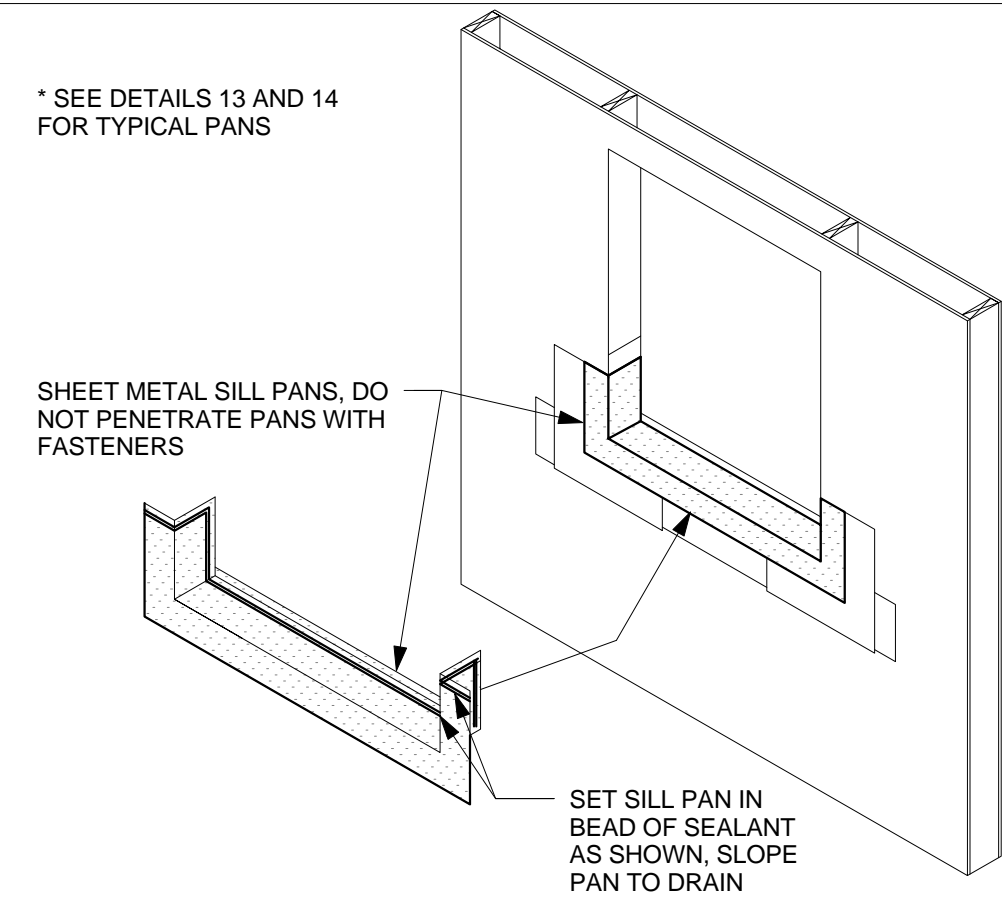
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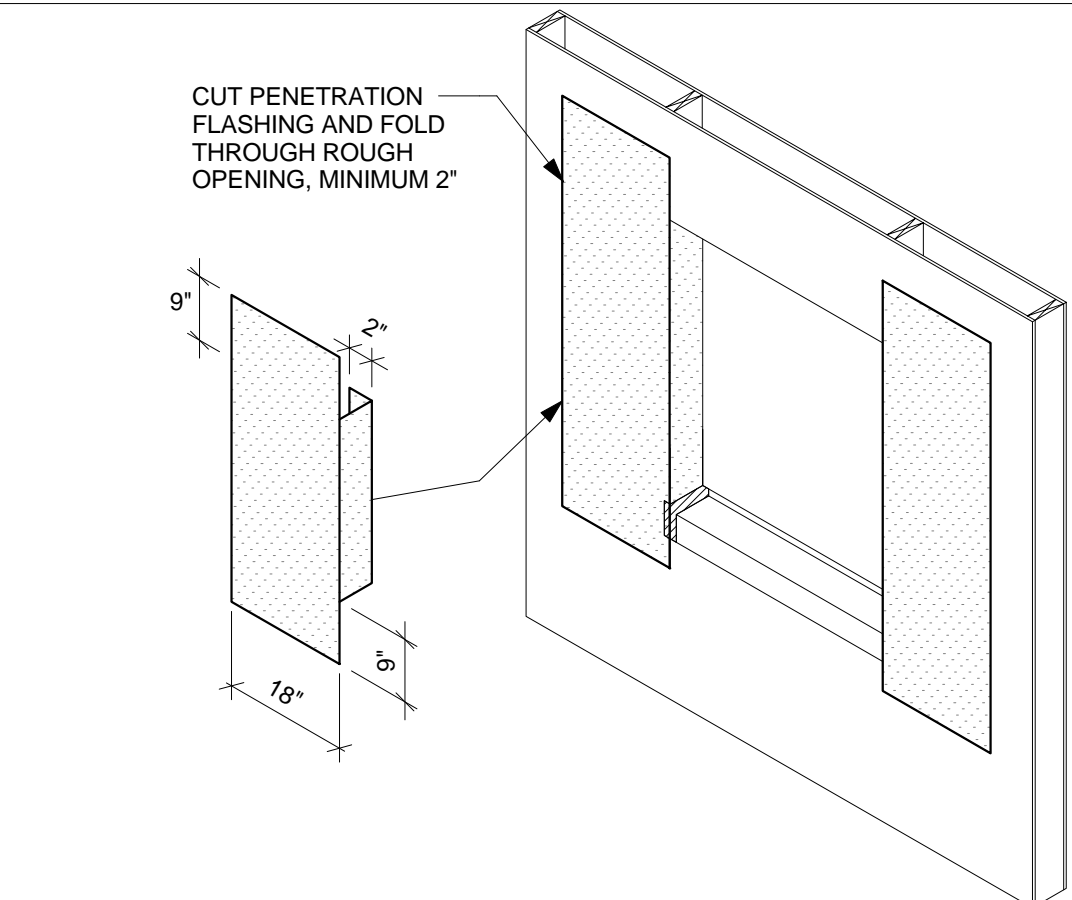
**4** OPENING FLASHING A  
Scale: 3/8" = 1'-0"



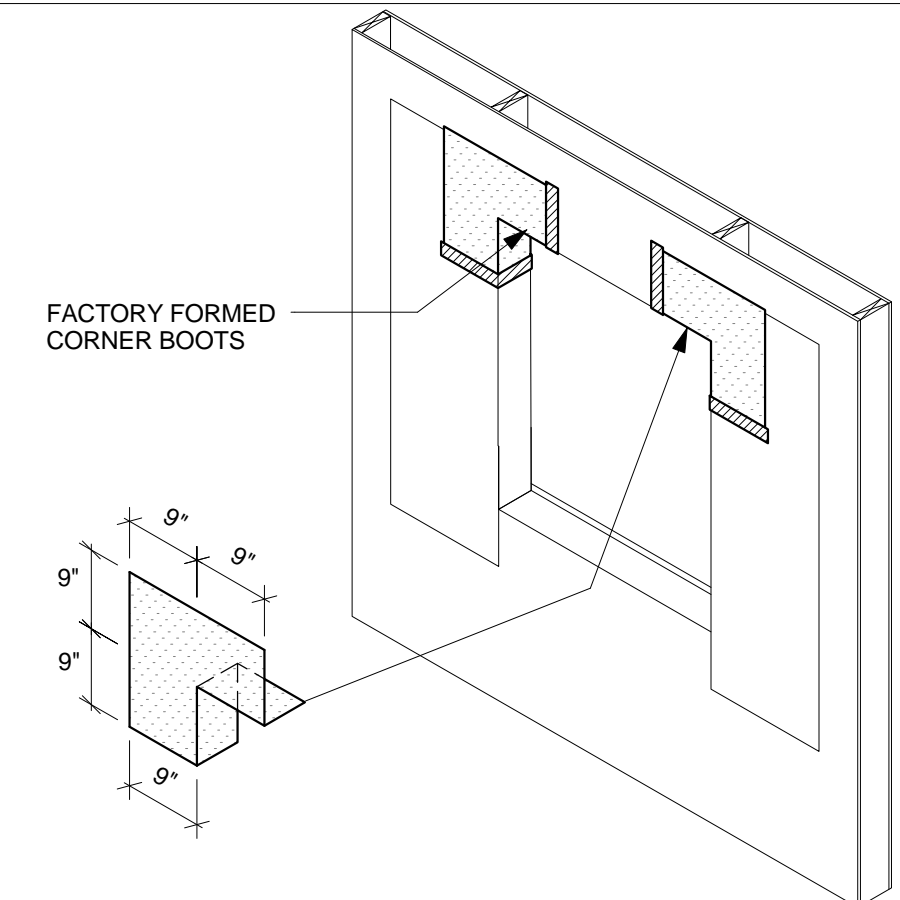
**5** OPENING FLASHING B  
Scale: 3/8" = 1'-0"



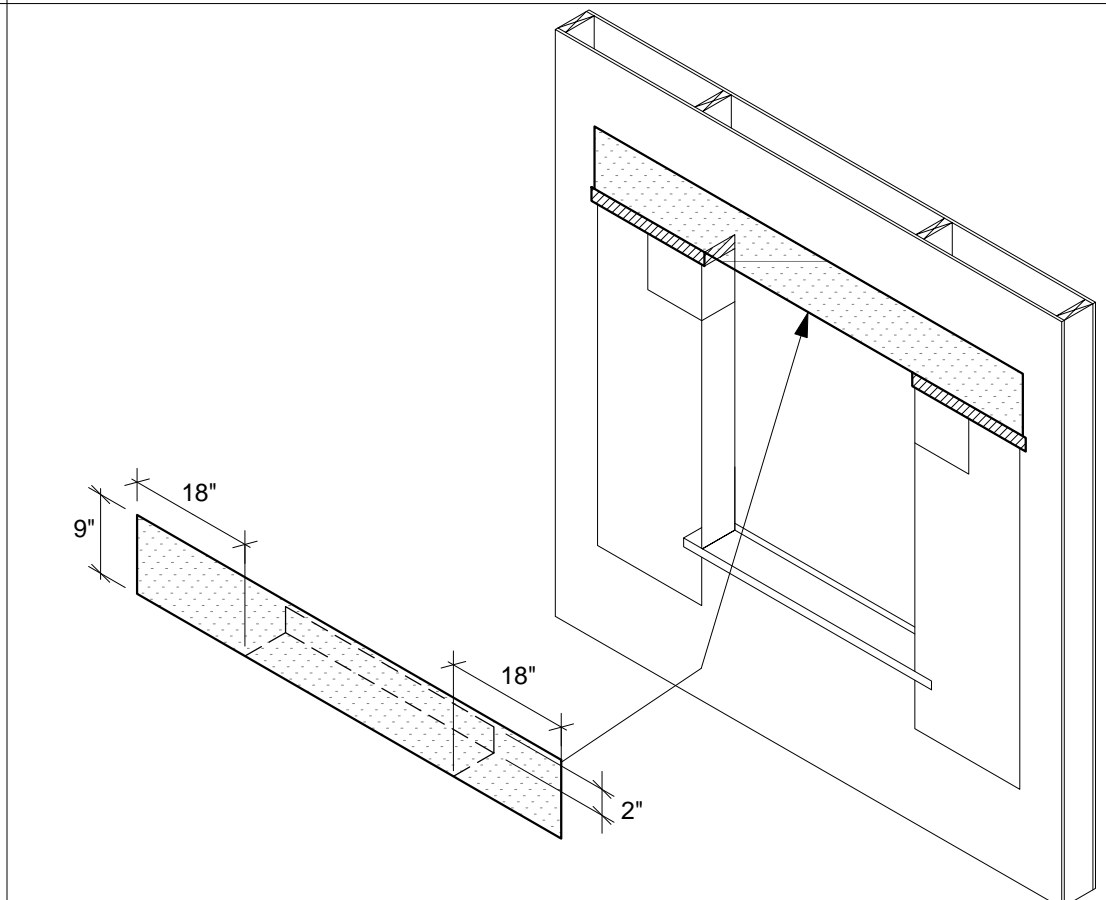
**6** OPENING FLASHING C  
Scale: 3/8" = 1'-0"



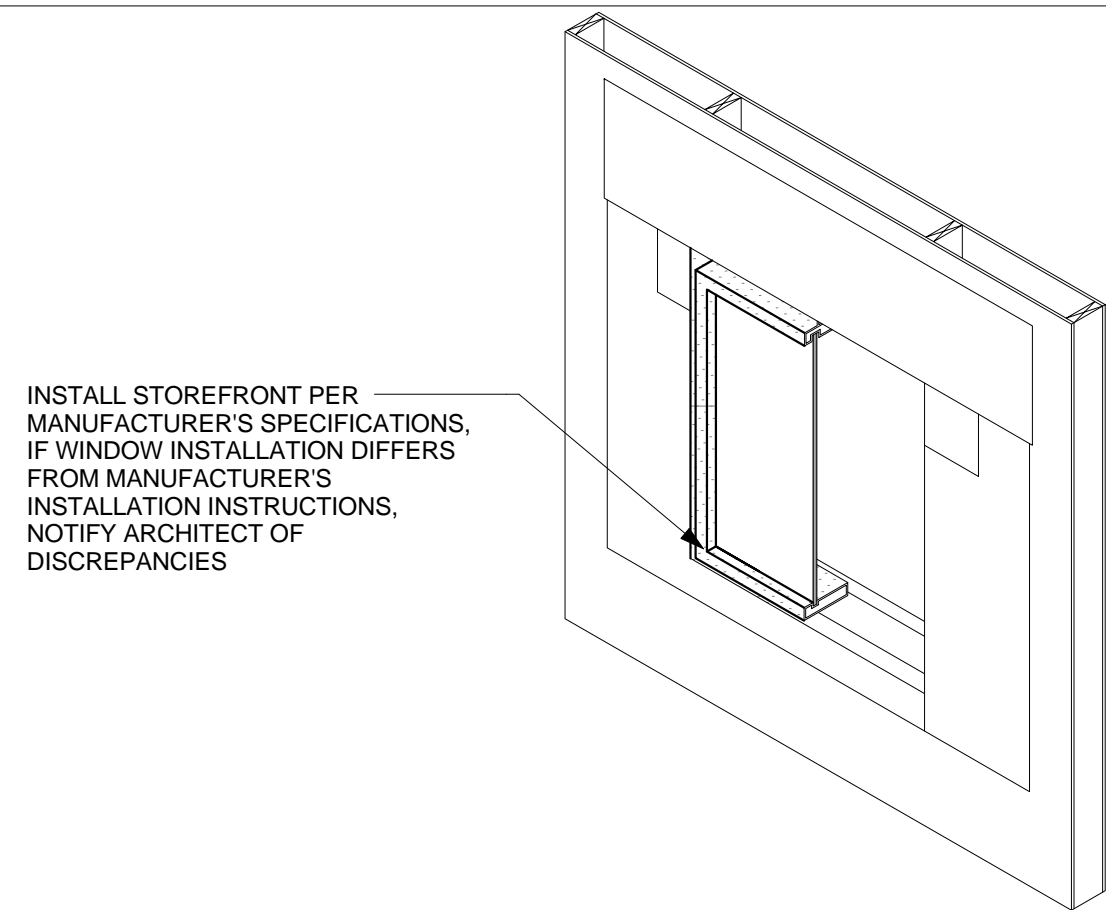
**7** OPENING FLASHING D  
Scale: 3/8" = 1'-0"



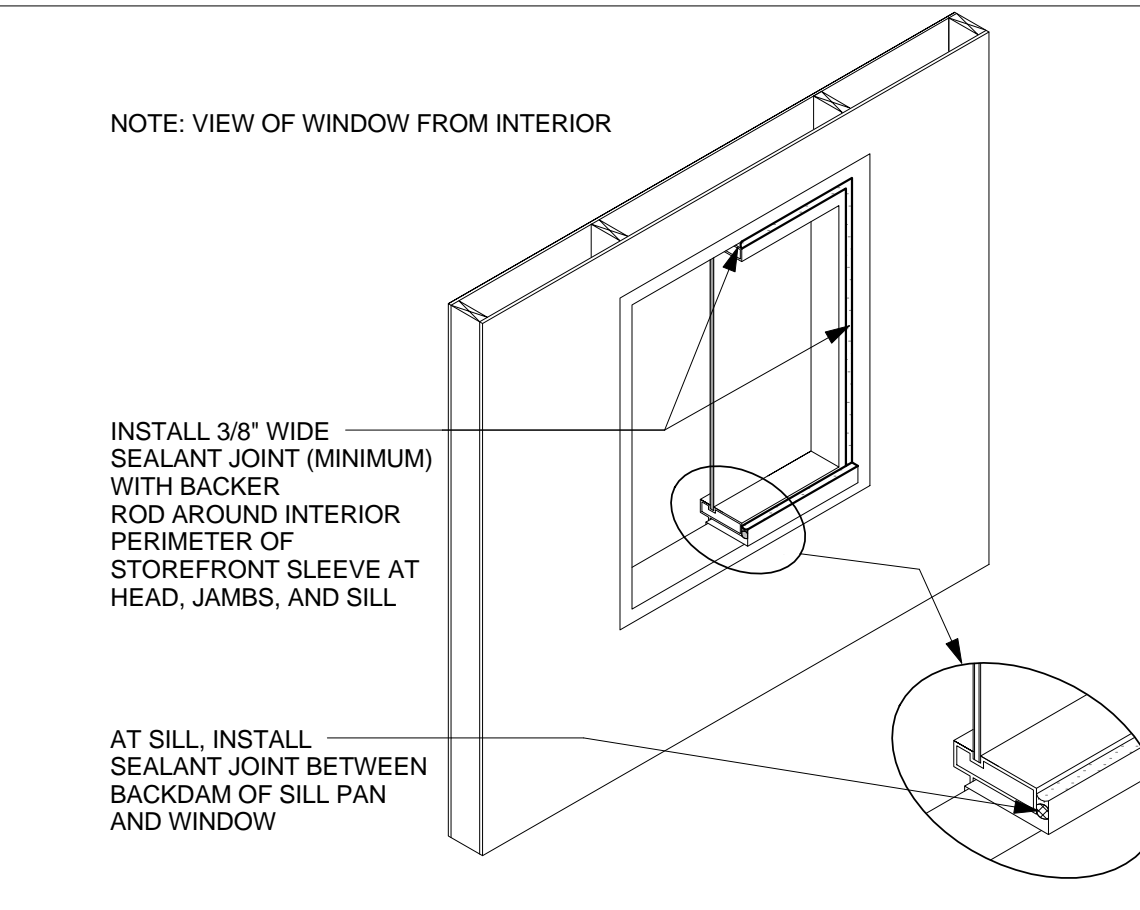
**9** OPENING FLASHING E  
Scale: 3/8" = 1'-0"



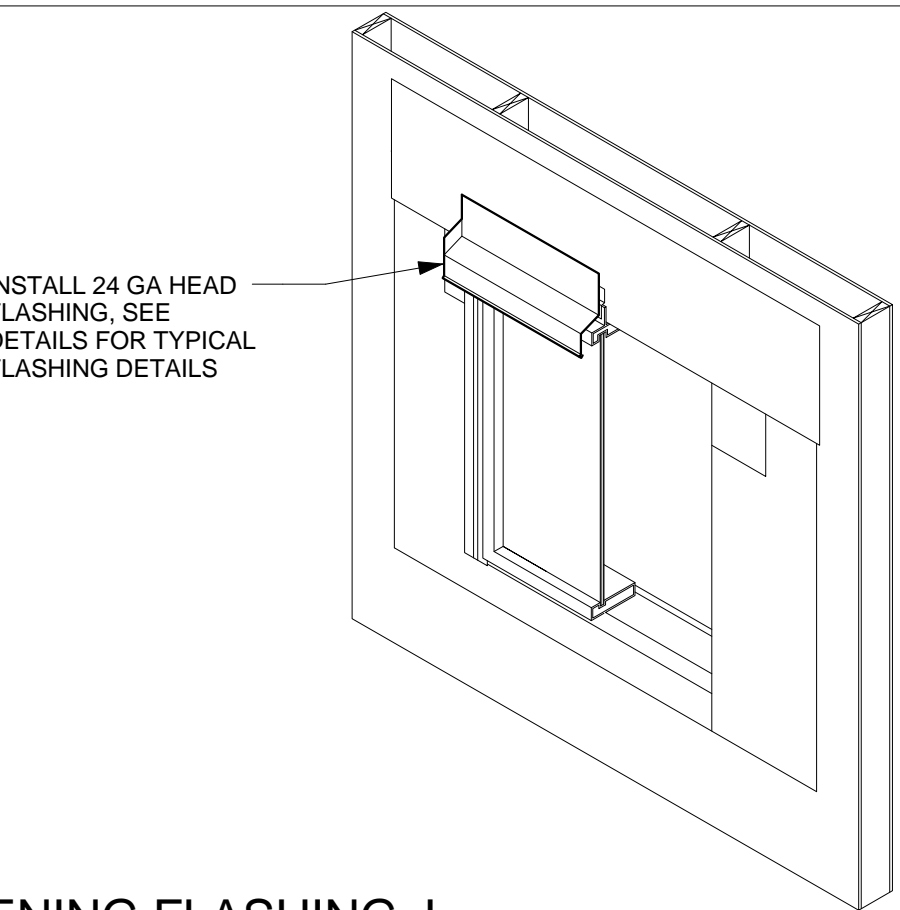
**10** OPENING FLASHING F  
Scale: 3/8" = 1'-0"



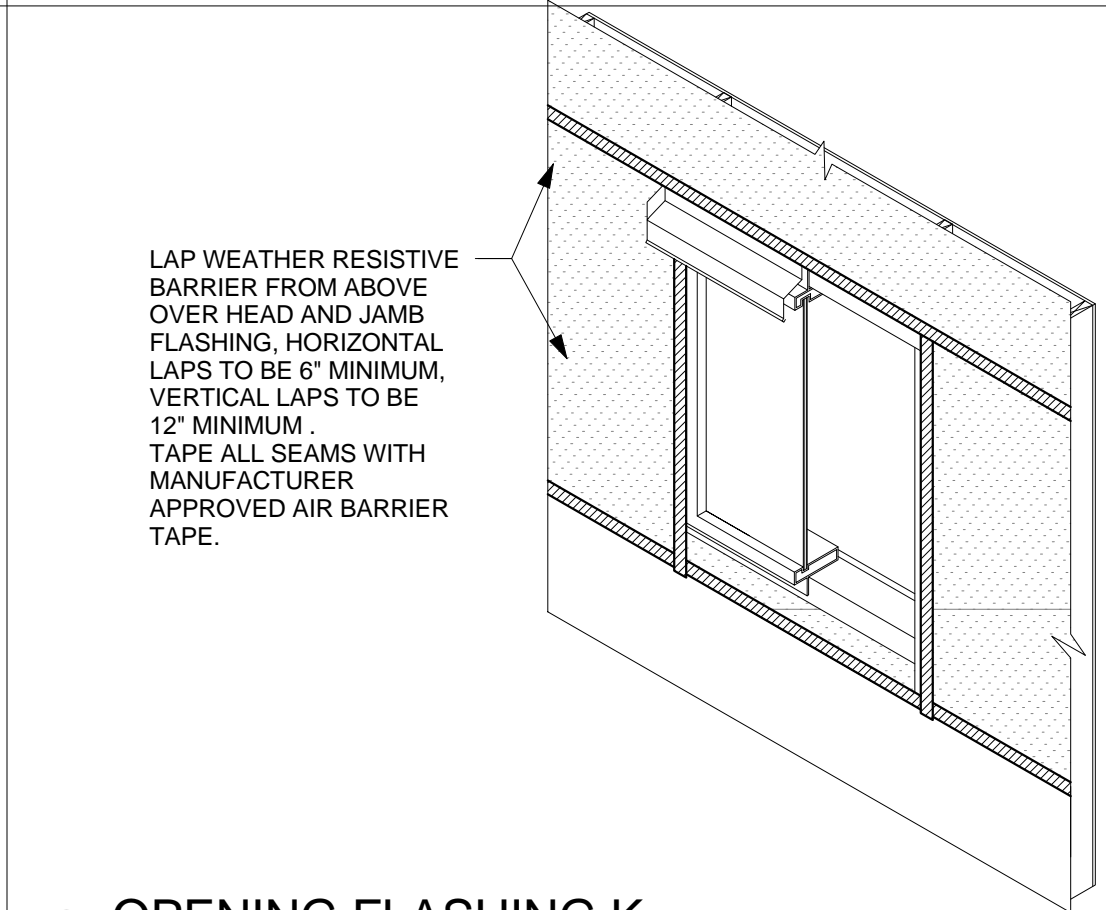
**11** OPENING FLASHING G  
Scale: 3/8" = 1'-0"



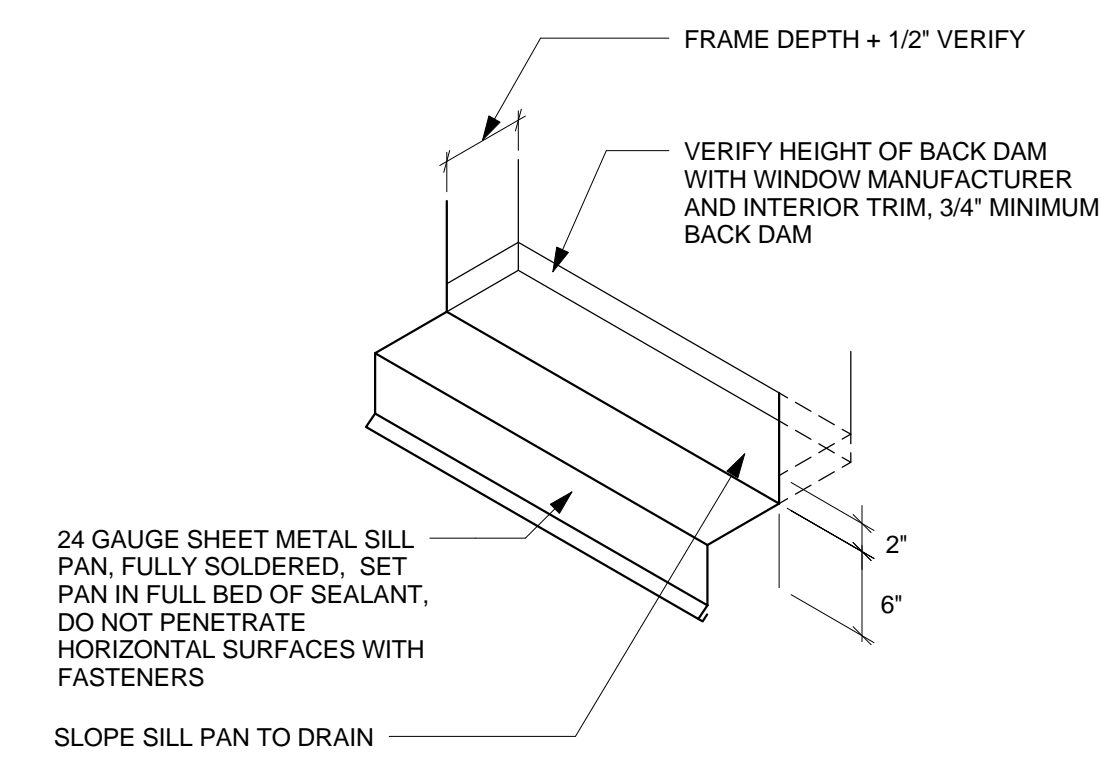
**12** OPENING FLASHING H  
Scale: 3/8" = 1'-0"



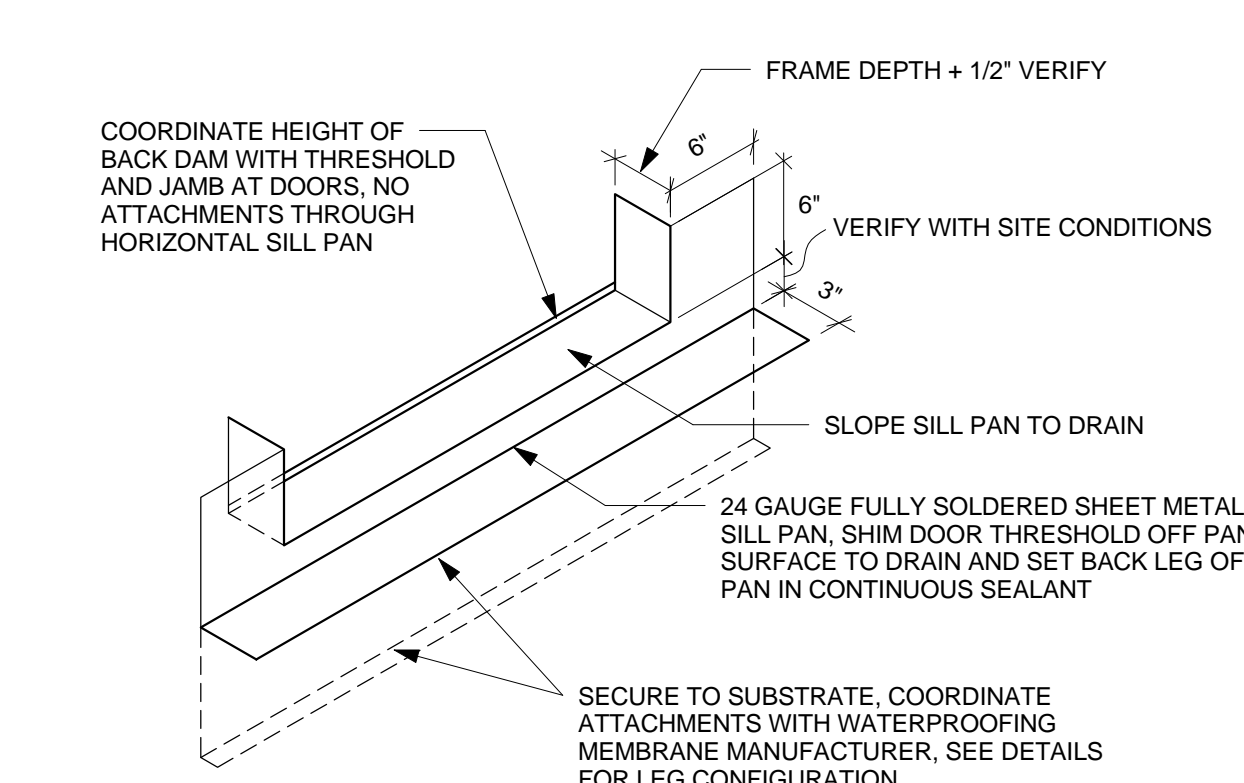
**14** OPENING FLASHING J  
Scale: 3/8" = 1'-0"



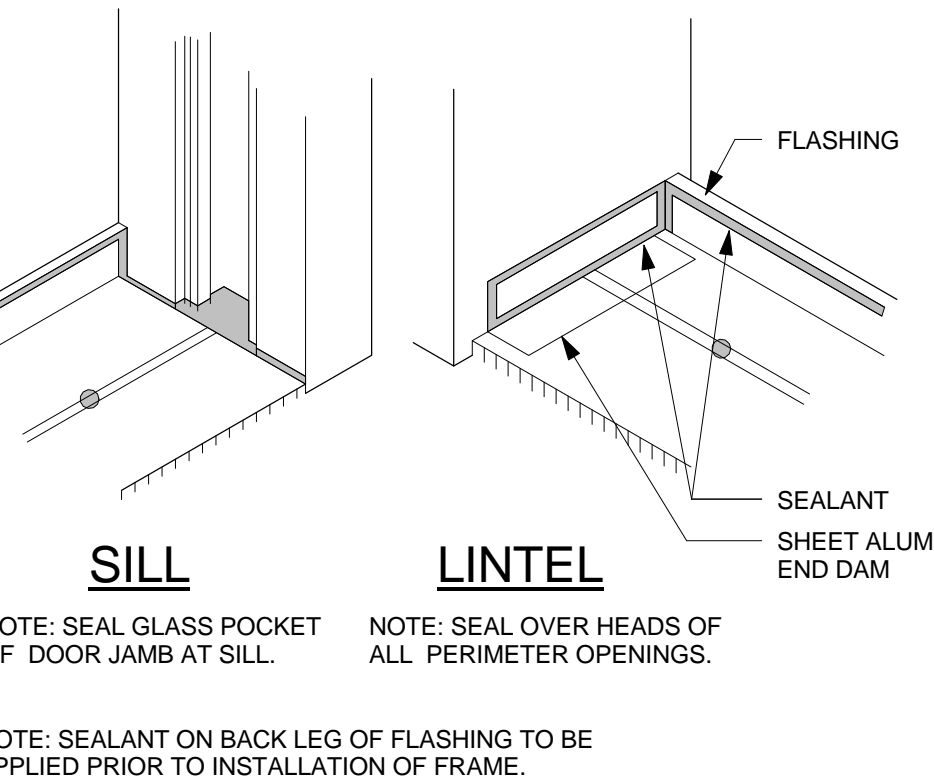
**15** OPENING FLASHING K  
Scale: 3/8" = 1'-0"



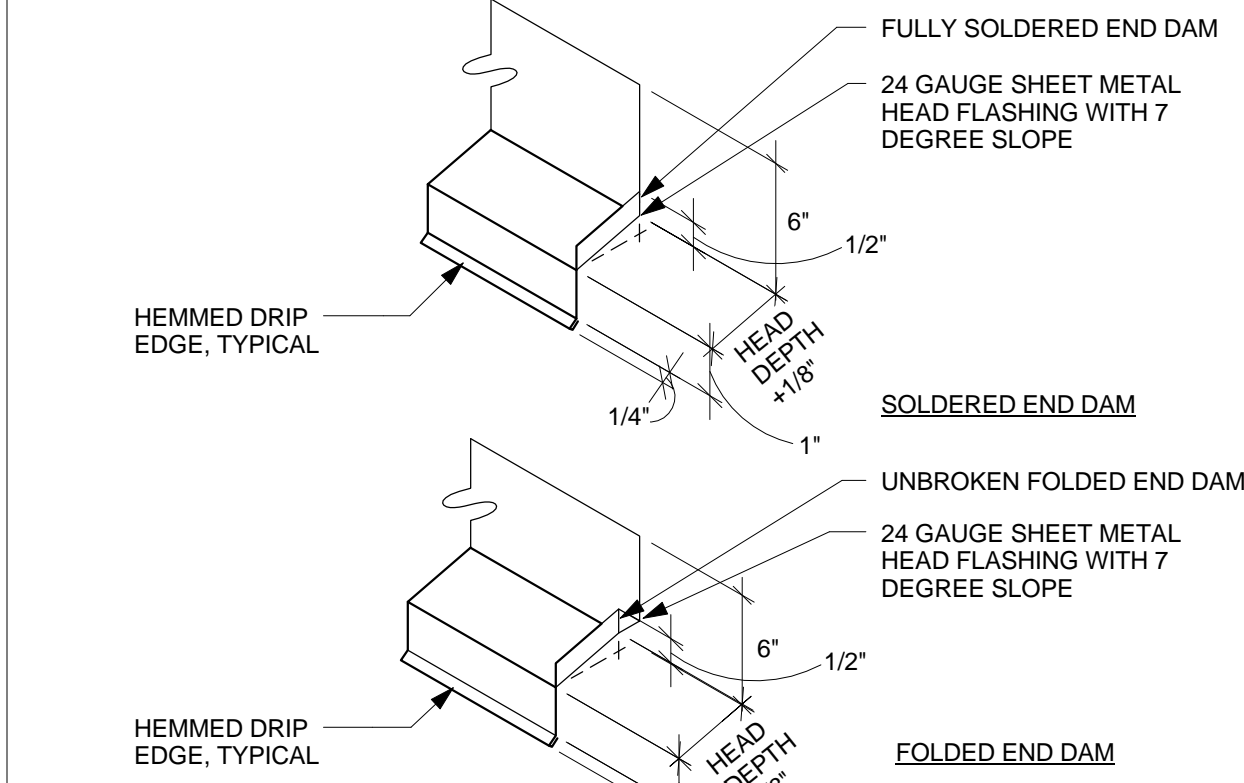
**16** TYPICAL WINDOW PAN FLASHING  
Scale: 1" = 1'-0"



**17** TYPICAL DOOR PAN FLASHING  
Scale: 1" = 1'-0"



**19** TYPICAL FLASHING DETAIL @ JAMB  
Scale: 1 1/2" = 1'-0"



**20** TYPICAL HEAD FLASHING DETAIL  
Scale: 3/4" = 1'-0"

### MECHANICAL GENERAL NOTES

**GENERAL**

**SCOPE**  
THE INTENT OF THE SPECIFICATION AND THE DRAWINGS IS TO PROVIDE A COMPLETE AND FULLY OPERATIONAL MECHANICAL SYSTEM. THE MECHANICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL LABOR, MATERIAL AND EQUIPMENT NECESSARY TO COMPLETE THE MECHANICAL WORK.

**SITE EXAMINATION**  
THE MECHANICAL CONTRACTOR SHALL THOROUGHLY EXAMINE ALL AREAS WHERE EQUIPMENT, DUCTWORK, AND PIPING WILL BE INSTALLED AND WILL REPORT ANY CONDITION THAT, IN HIS OPINION, PREVENTS THE PROPER INSTALLATION OF THE MECHANICAL WORK.

**STANDARDS**  
EQUIPMENT AND MATERIALS SHALL CONFORM WITH APPROPRIATE PROVISIONS OF ARI, ASME, ASTM, UL, NEMA, ANSI, SMACNA, ASHRAE, AND NFPA, AS APPLICABLE TO EACH INDIVIDUAL UNIT OR ASSEMBLY.

**CODES**  
ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES. IN CASE OF CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATION AND THE CODES AND THE ORDINANCES, THE HIGHEST STANDARDS SHALL APPLY. THE MECHANICAL CONTRACTOR SHALL SATISFY CODE REQUIREMENTS AS A MINIMUM STANDARD WITHOUT ANY EXTRA COST TO OWNER/TENANT.

**PERMITS AND FEES**  
THE MECHANICAL CONTRACTOR SHALL PROCURE AND PAY FOR ALL PERMITS, FEES AND INSPECTORS NECESSARY TO COMPLETE THE MECHANICAL WORK.

**WARRANTY**  
THE MECHANICAL CONTRACTOR SHALL UNCONDITIONALLY WARRANT ALL WORK TO BE FREE OF DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY OWNER/TENANT AND WILL REPAIR OR REPLACE ANY DEFECTIVE WORK PROMPTLY AND WITHOUT CHARGE AND RESTORE ANY OTHER EXISTING WORK DAMAGED IN THE COURSE OF REPAIRING DEFECTIVE MATERIAL AND WORKMANSHIP.

**FILTERS**  
PROVIDE TWO (2) SETS OF PLEATED DISPOSABLE FILTERS. USE ONE SET UNTIL COMPLETION OF CONSTRUCTION. INSTALL ONE SET AT COMPLETION OF CONSTRUCTION. FILTERS TO BE FARR, OR SIMILAR.

**DUCTWORK & ACCESSORIES**

**SHEETMETAL DUCTWORK**  
ALL DUCTWORK TO BE RIGID SHEETMETAL CONSTRUCTED FROM GALVANIZED SHEET STEEL IN ACCORDANCE WITH SMACNA 1" PRESSURE CLASS DUCT CONSTRUCTION STANDARDS. ALL EXPOSED DUCTWORK TO BE ROUND, SPIRAL, OR RECTANGULAR LOCK-SEAM TYPE, AS SHOWN ON HVAC PLAN. ASSEMBLE AND INSTALL DUCTWORK IN ACCORDANCE WITH RECOGNIZED INDUSTRY PRACTICE FOR ACHIEVING AIR TIGHT (5% LEAKAGE) AND NOISELESS (NO OBJECTIONABLE NOISE) SYSTEMS, CAPABLE OF PERFORMING EACH INDICATED SERVICE. FURNISH ALL REQUIRED DAMPERS, TRANSITIONS, CONNECTIONS TO AIR TERMINALS, AND OTHER ACCESSORIES NECESSARY FOR A COMPLETE OPERATING SYSTEM. NO VARIATION OF DUCT CONFIGURATION OR SIZES WILL BE PERMITTED EXCEPT BY PERMISSION FROM THE ENGINEER.

**DUCT SEALANT**  
SEAL ALL CONCEALED LONGITUDINAL AND TRANSVERSE JOINTS WITH A NON-HARDENING, NON-MIGRATING MASTIC OR LIQUID ELASTIC SEALANT OF A TYPE RECOMMENDED BY THE MANUFACTURER FOR SEALING JOINTS AND SEAMS IN SHEET METAL DUCTWORK. COVER ALL FIELD JOINTS, JOINTS AROUND SPIN-IN FITTINGS AND FASTENING SCREWS WITH MASTIC. DO NOT SEAL EXPOSED DUCT.

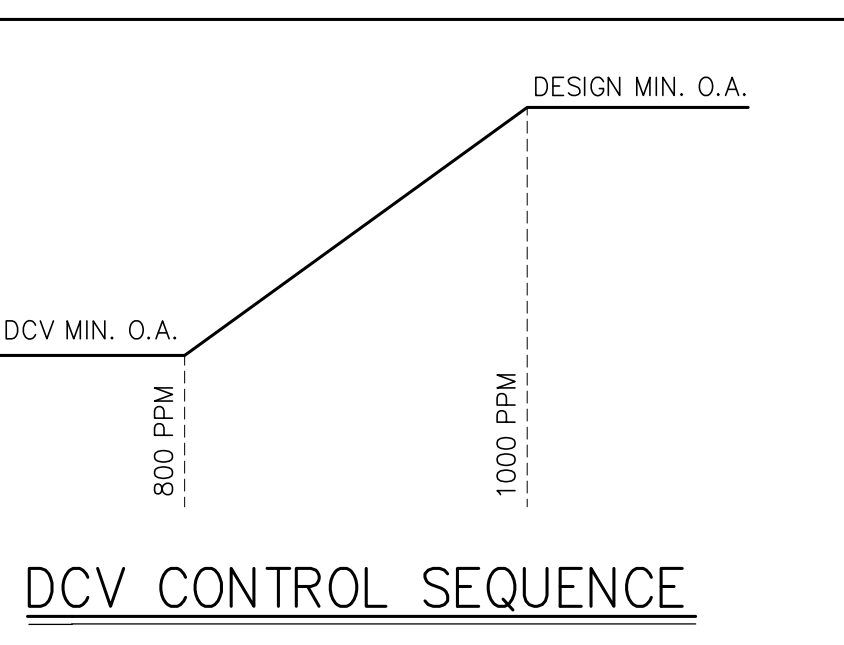
**SUPPORTS**  
PROVIDE HOT-DIPPED GALVANIZED STEEL FASTENERS, ANCHORS, RODS, STRAPS, TRIM, AND ANGLES FOR SUPPORT OF DUCTWORK.

**THERMAL INSULATION**  
PROVIDE EXTERNAL THERMAL INSULATION WITH AN INTEGRAL VAPOR BARRIER FACING OF SUFFICIENT THICKNESS TO PROVIDE R5 WHEN LOCATED IN UNCONDITIONED SPACE & R8 WHEN LOCATED OUTSIDE THE BUILDING. PROVIDE INSULATION ON EXHAUST AND OUTSIDE AIR DUCTS, AND ON CONCEALED PORTIONS OF SUPPLY AND RETURN AIR DUCTS. DO NOT INSULATE EXPOSED DUCTWORK AND PORTIONS OF DUCTWORK THAT ARE INTERNALLY LINED. THERMAL INSULATION TO COMPLY WITH AN NFPA FLAME SPREAD OF 25 OR LESS, AND SMOKE DEVELOPED NO GREATER THAN 50.

**ACOUSTICAL DUCT LINER**  
UNLESS OTHERWISE INDICATED ON THE PLANS, PROVIDE 1" GLASS FIBER ACOUSTICAL DUCT LINER ON SUPPLY AND RETURN DUCTWORK WITHIN 10 FEET OF THE DISCHARGE AND INTAKE OF AIR HANDLING UNITS. INCREASE DUCT SIZE INDICATED ON PLANS 2" IN EACH DIMENSION TO ACCOMMODATE LINER.

**CONTROLS AND OPERATIONS**

**CONTROLS**  
UNIT CONTROLS PROVIDED UNDER SEPARATE PERMIT.



MARK	MODEL	101° AMBIENT / 77° EDB / 56° EWB		EVAPORATOR FAN DATA				HEAT SECTION @ S.L.	MANUFACTURER	VOLTAGE/ PHASE	COMPRESSOR #1 RLA	COMPRESSOR #2 RLA	CONDENSER FAN FLA	EVAPORATOR FAN	MCA	OPD	WEIGHT	EER	SEER	REMARKS
		TOTAL COOLING	SENSIBLE COOLING	CFM TOTAL	ESP IN W.C.	O.A. DESIGN MIN.	O.A. DCV MIN													
RTU-1	YHC120F3-M	94.9	82	4000	0.8	700	205	200 MBH	TRANE	208V/3	19.6	10.4	2.7	8.5	46.1	60A	1670	12.4	-	1-8
RTU-2	YHC120F3-L	93.8	80	4000	0.8	150	-	150 MBH	TRANE	208V/3	19.6	10.4	2.7	8.5	46.1	60A	1670	12.4	-	1-4,6-8
RTU-3	YHC047E3-L	40.7	32.2	1600	0.8	150	-	60 MBH	TRANE	208V/3	14	-	2.5	9.4	29.4	40A	975	-	17.5	1-4,6,8
RTU-4	YHC092F3-L	71	61	3000	0.8	555	-	120 MBH	TRANE	208V/3	15.9	10	3.5	8.5	41.9	50A	1300	12.6	-	1-4,6-8
RTU-5	YHC092F3-L	71	61	3000	0.8	555	-	120 MBH	TRANE	208V/3	15.9	10	3.5	8.5	41.9	50A	1300	12.6	-	1-4,6-8
RTU-6	YHC120F3-L	92	79	4000	0.8	430	-	150 MBH	TRANE	208V/3	19.6	10.4	2.7	8.5	46.1	60A	1670	12.4	-	1-4,6-8
RTU-7	YHC120F3-L	92	79	4000	0.8	430	-	150 MBH	TRANE	208V/3	19.6	10.4	2.7	8.5	46.1	60A	1670	12.4	-	1-4,6-8

1. PROVIDE SMOKE DETECTOR INTERLOCKED W/ BLOWER PER IMC.
2. PROVIDE ROOF CURB.
3. BLOWER TO OPERATE CONTINUOUSLY DURING BUSINESS HOURS.
4. PROVIDE CONDENSER COIL HAILGUARD.
5. PROVIDE DEMAND CONTROL VENTILATION.
6. PROVIDE NON-FUSED DISCONNECT AND CONVENIENCE RECEPTACLE.
7. PROVIDE POWER EXHAUSTER.
8. PROVIDE 100% OUTSIDE AIR ECONOMIZER.

TENANT 1 - OUTSIDE AIR COMPLIANCE TABLE								
DESCRIPTION	AREA SF	PEOPLE/1000SF	POPULATION	CFM/PERSON	AREA AIRFLOW RATE	Ez	REQUIRED OUTSIDE AIR CFM	OUTSIDE AIR PROVIDED CFM
SEATING	1120	50	40	7.5	0.18	0.8	627	700
BACKBAR	400	0	0	0.0	0	0.8	0	150
WORKROOM	395	0	0	0.0	0.06	0.8	30	150
VESTIBULE	30	0	0	0.0	0.06	0.8	2	5
WOMEN'S	55	0	0	0.0	0	0.8	0	0
MEN'S	55	0	0	0.0	0	0.8	0	0
TOTALS	2055		40				659	1005

TENANT 2 - OUTSIDE AIR COMPLIANCE TABLE								
DESCRIPTION	AREA SF	PEOPLE/1000SF	POPULATION	CFM/PERSON	AREA AIRFLOW RATE	Ez	REQUIRED OUTSIDE AIR CFM	OUTSIDE AIR PROVIDED CFM
RETAIL	3820	15	57	7.5	0.12	0.8	1110	1110
TOTALS	3820		57				1110	1110

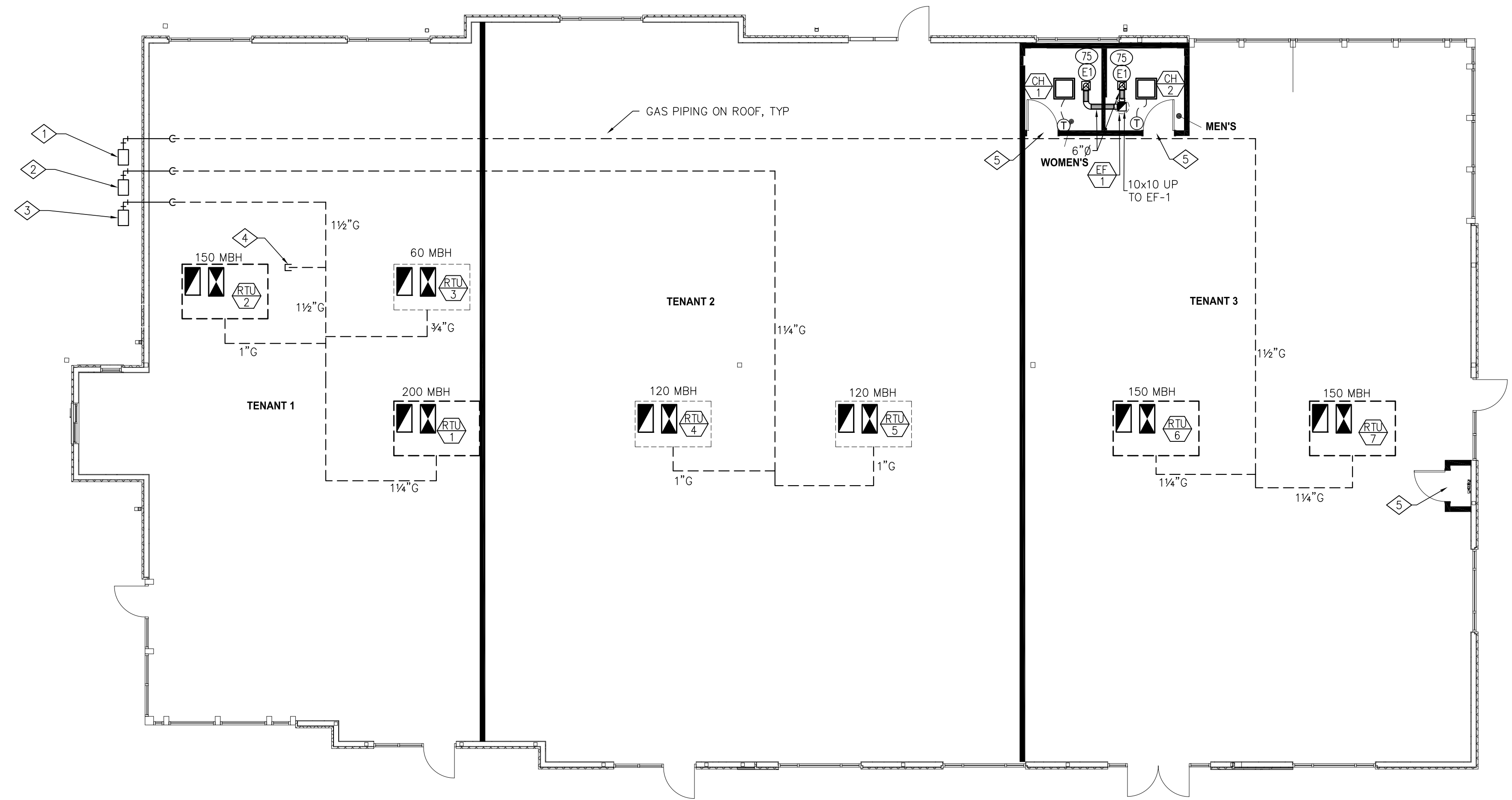
TENANT 3 - OUTSIDE AIR COMPLIANCE TABLE									
DESCRIPTION	AREA SF	PEOPLE/1000SF	POPULATION	CFM/PERSON	AREA AIRFLOW RATE	Ez	REQUIRED OUTSIDE AIR CFM	OUTSIDE AIR PROVIDED CFM	EXHAUST AIR PROVIDED CFM
RETAIL	2840	15	43	7.5	0.12	0.8	825	860	0
MEN'S	60	0	0	0.0	0	0.8	0	0	75
WOMEN'S	60	0	0	0.0	0	0.8	0	0	75
TOTALS	2960		43				825	860	150

DIFFUSER SCHEDULE								
MARK	SERVICE	FACE SIZE	NECK SIZE	FIRE DAMPER	VOLUME DAMPER	MFR	MODEL	REMARKS
E1	EXHAUST	10" x 10"	8" x 8"	NO	YES	PRICE	10	W/ OPPOSED BLADE DAMPER

EXHAUST FAN SCHEDULE														
MARK	AREA SERVED	SERVICE	LOCATION	CFM	S.P. @ ALTITUDE (IN W.C.)	RPM	HP OR WATTS	PRE-FAB CURB	BACKDRAFT DAMPER	TYPE	VIB. ISOL.	MFR. & MODEL NO.	VOLTS/ PHASE	REMARKS
EF-1	RESTROOMS	EXHAUST	ROOF	150	0.3	1483	1/6	YES	WD-100-PB 10X10	CENTRIFUGAL	NO	GREENHECK G-070-VG	120/1	1, 2

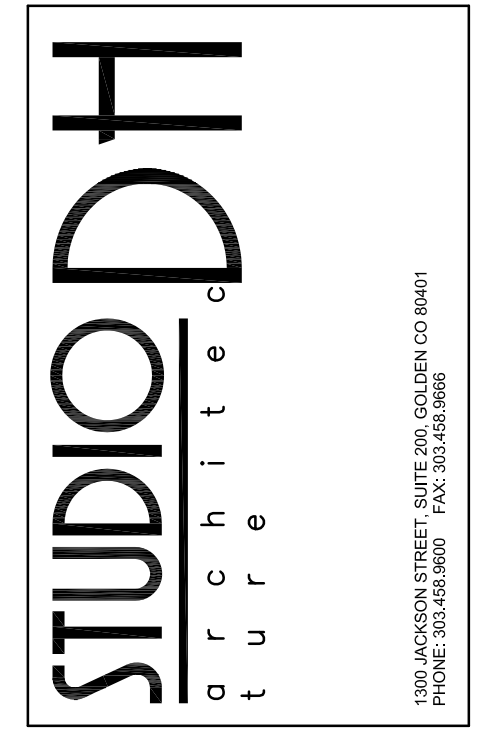
1. PROVIDE TIMECLOCK CONTROL
2. PROVIDE DIAL ON MOTOR CONTROL

MECHANICAL EQUIPMENT SCHEDULE	
	INDEECO FLUSH MOUNTED CEILING HEATER, MODEL ASS2424-375-120. ELECTRICAL CHARACTERISTICS: 120V, 375W. PROVIDE LINE VOLTAGE THERMOSTAT.



- DETAIL NOTES:
- 1 (N) QUESTAR GAS METER, 7" W.C., 326 CFH, 220" TDL
  - 2 (N) QUESTAR GAS METER, 7" W.C., 260 CFH, 150" TDL
  - 3 (N) QUESTAR GAS METER, 7" W.C., 580 CFH, 80" TDL
  - 4 1" G STUB FOR FUTURE WATER HEATER
  - 5 UNDERCUT DOOR 1"

**1** MECHANICAL PLAN  
SCALE: 1/8" = 1'-0"



**RED CLIFFS PLAZA**

880 W. Red Cliffs Drive  
Washington, Utah 84780



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DATE	ISSUED FOR	REV. #
10/2/2013	PERMIT SET	
10/2/2013	BID SET	

JOB NUMBER: BSA 16241

DRAWN BY:

APPROVED BY:

DATE: 7/18/2016

Original drawing is 24" x 36" | Scale entries accordingly if reduced

SHEET TITLE: MECHANICAL PLAN

SHEET: **M100**

















### 3Ø FAULT CALCULATION

POINT #1, AT THE 300 KVA UTILITY TRANSFORMER:

$$I_{sc} = \frac{26,000}{A} \text{ (ESTIMATED)}$$

POINT #2, AT THE EUSERC CABINET:

$$f = 1.73 \times \text{Length} \times I_{sc} \text{ (source)} / \text{L-L Volts} \times \text{Wire Factor}$$

$$f = 1.73 \times 35 \times 26,000 \text{ A} / 208 \times 55779$$

$$f = 0.14$$

$$M = 1 / (1 + f) = 1 / (1 + 0.14) = 0.88$$

$$I_{sc} = M \times I_{sc} \text{ (source)} = 0.88 \times 26,000 \text{ A} = 22,894 \text{ A}$$

POINT #3, AT THE PANEL "H":

$$f = 1.73 \times \text{Length} \times I_{sc} \text{ (source)} / \text{L-L Volts} \times \text{Wire Factor}$$

$$f = 1.73 \times 20 \times 22,894 \text{ A} / 208 \times 2425$$

$$f = 1.57$$

$$M = 1 / (1 + f) = 1 / (1 + 1.57) = 0.39$$

$$I_{sc} = M \times I_{sc} \text{ (source)} = 0.39 \times 22,894 \text{ A} = 8,907 \text{ A}$$

POINT #4, AT PANEL "A":

$$f = 1.73 \times \text{Length} \times I_{sc} \text{ (source)} / \text{L-L Volts} \times \text{Wire Factor}$$

$$f = 1.73 \times 130 \times 22,894 \text{ A} / 208 \times 12843$$

$$f = 1.93$$

$$M = 1 / (1 + f) = 1 / (1 + 1.93) = 0.34$$

$$I_{sc} = M \times I_{sc} \text{ (source)} = 0.34 \times 22,894 \text{ A} = 7,820 \text{ A}$$

POINT #5, AT PANEL "B":

$$f = 1.73 \times \text{Length} \times I_{sc} \text{ (source)} / \text{L-L Volts} \times \text{Wire Factor}$$

$$f = 1.73 \times 90 \times 22,894 \text{ A} / 208 \times 12843$$

$$f = 1.33$$

$$M = 1 / (1 + f) = 1 / (1 + 1.33) = 0.43$$

$$I_{sc} = M \times I_{sc} \text{ (source)} = 0.43 \times 22,894 \text{ A} = 9,807 \text{ A}$$

POINT #6, AT PANEL "SB":

$$f = 1.73 \times \text{Length} \times I_{sc} \text{ (source)} / \text{L-L Volts} \times \text{Wire Factor}$$

$$f = 1.73 \times 50 \times 22,894 \text{ A} / 208 \times 25686$$

$$f = 0.37$$

$$M = 1 / (1 + f) = 1 / (1 + 0.37) = 0.73$$

$$I_{sc} = M \times I_{sc} \text{ (source)} = 0.73 \times 22,894 \text{ A} = 16,703 \text{ A}$$

SUPPLIED FROM: 60A SERVICE ENTRANCE DISCONNECT NEMA 3R, HOUSE PANEL

PANEL "H" (NEW)		VOLTAGE 120 / 208 V 3 Ø 4 W																	
FLUSH	M.C.B.	MLO X	I.G. BAR																
SURFACE X	BUS 125A CU	A.I.C. 22K	C.B. BOLT ON																
TYPE	DESCRIPTION	BKR	CIR	LOAD (VOLT AMPS) / PHASE			CIR	BKR	DESCRIPTION	TYPE									
				A	B	C													
	SPACE	-	1	0	360			2	20	BLDG LIGHTING	L								
	SPACE	-	3		0	180		4	20	RECEPTACLE	R								
	SPACE	-	6			0	630	6	20	PARKING LOT LTG	L								
	SPACE	-	7	0	0			8	-	SPACE									
	SPACE	-	9			0		10	-	SPACE									
	SPACE	-	11			0		12	-	SPACE									
	SPACE	-	13	0	0			14	-	SPACE									
	SPACE	-	15			0		16	-	SPACE									
	SPACE	-	17			0		18	-	SPACE									
	SPACE	-	19	0	0			20	-	SPACE									
	SPACE	-	21			0		22	-	SPACE									
	SPACE	-	23			0		24	-	SPACE									
	SPACE	-	25	0	0			26	-	SPACE									
	SPACE	-	27			0		28	-	SPACE									
	SPACE	-	29			0		30	-	SPACE									
	SPACE	-	31	0	5043			32	60	RTU-6	M								
	SPACE	-	33			0	5043	34	-		M								
	SPACE	-	35			0	5043	36	3		M								
	SPACE	-	37	0	5043			38	60	RTU-7	M								
	SPACE	-	39			0	5043	40	-		M								
	SPACE	-	41			0	5043	42	3		M								
				10266	10446	10086													
LOAD TYPE		CONNECTED KVA			TOTAL			FACTOR			DEMAND KVA			TOTAL					
		A	B	C	ALL PHASES	A	B	C	ALL PHASES	A	B	C	ALL PHASES	A	B	C	ALL PHASES		
	LIGHTING	0.0	0.0	0.0	0.0	125%	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		
	RECEPTACLE (10KVA OR LESS)	0.0	0.0	0.0	0.0	100%	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		
	RECEPTACLE (OVER 10KVA)	0.0	0.0	0.0	0.0	50%	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		
	HVAC/MOTOR	0.0	0.0	0.0	0.0	100%	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		
	MOTOR(LARGEST)	0.0	0.0	0.0	0.0	125%	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		
	KITCHEN EQUIPMENT	0.0	0.0	0.0	0.0	100%	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		
	MISCELLANEOUS	0.0	0.0	0.0	0.0	100%	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		
TOTAL KVA		0.4	0.2	0.6	1.2		0.5	0.2	0.8	1.4	TOTAL KVA		0.5	0.2	0.8	1.4			
WITH GROUND BUS		TOTAL AMPS			3.8	1.5	6.6	TOTAL AMPS			3.8	1.5	6.6	TOTAL AMPS			3.8	1.5	6.6
LEGEND		L = LIGHTING			R = RECEPTACLE			M = HVAC / MOTOR			K = KITCHEN			G = MISCELLANEOUS					
		MAX PERCENT DIFFERENCE BETWEEN PHASES (A,B,C):			71.4%														

SUPPLIED FROM: UTILITY TRANSFORMER

PANEL "MDP" (NEW)		VOLTAGE 120 / 208 V 3 Ø 4 W																	
FLUSH	M.C.B.	MLO X	I.G. BAR																
SURFACE X	BUS 800A CU	A.I.C. 68K	C.B. BOLT ON																
TYPE	DESCRIPTION	BKR	CIR	LOAD (VOLT AMPS) / PHASE			CIR	BKR	DESCRIPTION	TYPE									
				A	B	C													
G	PANEL "H"	60	1	5700	19213			2	200	PANEL "B"	G								
G	HOUSE	3	3		5700	19213		4	VACANT	G									
G	PANEL "A"	200	7	19213	38427			8	400	PANEL "SB"	G								
G	SLEEP NUMBER	9	9		19213	38427		10	STARBUCKS	G									
G	100A SPACE	-	13	0	0			14	SPACE	G									
		-	15			0		16	SPACE										
		-	17			0		18	SPACE										
				82553	82553	82553													
LOAD TYPE		CONNECTED KVA			TOTAL			FACTOR			DEMAND KVA			TOTAL					
		A	B	C	ALL PHASES	A	B	C	ALL PHASES	A	B	C	ALL PHASES	A	B	C	ALL PHASES		
	LIGHTING	0.0	0.0	0.0	0.0	125%	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		
	RECEPTACLE (10KVA OR LESS)	0.0	0.0	0.0	0.0	100%	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		
	RECEPTACLE (OVER 10KVA)	0.0	0.0	0.0	0.0	50%	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		
	HVAC/MOTOR	10.1	10.1	10.1	30.3	100%	10.1	10.1	10.1	30.3									
	MOTOR(LARGEST)	0.0	0.0	0.0	0.0	125%	0.0	0.0	0.0	0.0									
	KITCHEN EQUIPMENT	0.0	0.0	0.0	0.0	100%	0.0	0.0	0.0	0.0									
	MISCELLANEOUS	0.0	0.0	0.0	0.0	100%	0.0	0.0	0.0	0.0									
TOTAL KVA		82.6	82.6	82.6	247.7		82.6	82.6	82.6	247.7	TOTAL KVA		82.6	82.6	82.6	247.7			
WITH GROUND BUS		TOTAL AMPS			687.9	687.9	687.9	TOTAL AMPS			687.9	687.9	687.9	TOTAL AMPS			687.9	687.9	687.9
LEGEND		L = LIGHTING			R = RECEPTACLE			M = HVAC / MOTOR			K = KITCHEN			G = MISCELLANEOUS					
		MAX PERCENT DIFFERENCE BETWEEN PHASES (A,B,C):			0.0%														

ALL LOADS SHOWN ARE 80% OF MAXIMUM CAPACITY

SUPPLIED FROM: 200A SERVICE ENTRANCE DISCONNECT

PANEL "A" (NEW)		VOLTAGE 120 / 208 V 3 Ø 4 W																
FLUSH	M.C.B.	MLO X	I.G. BAR															
SURFACE X	BUS 225A CU	A.I.C. 22K	C.B. BOLT ON															
TYPE	DESCRIPTION	BKR	CIR	LOAD (VOLT AMPS) / PHASE			CIR	BKR	DESCRIPTION	TYPE								
				A	B	C												
R	TELEPHONE BD REC	20	1	180	0			2	20	TEMP LIGHTING								
R	ROOFTOP REC	20	3		360	0		4	-	SPACE								
	SPACE	-	5			0	0	6	-	SPACE								
	SPACE	-	7	0	0			8	-	SPACE								
	SPACE	-	9			0	0	10	-	SPACE								
	SPACE	-	11			0	0	12	-	SPACE								
	SPACE	-	13	0	0			14	-	SPACE								
	SPACE	-	15			0	0	16	-	SPACE								
	SPACE	-	17			0	0	18	-	SPACE								
	SPACE	-	19	0	0			20	-	SPACE								
	SPACE	-	21			0	0	22	-	SPACE								
	SPACE	-	23			0	0	24	-	SPACE								
	SPACE	-	25	0	0			26	-	SPACE								
	SPACE	-	27			0	0	28	-	SPACE								
	SPACE	-	29			0	0	30	-	SPACE								
	SPACE	-	31	0	5043			32	60	RTU-6	M							
	SPACE	-	33			0	5043	34	-		M							
	SPACE	-	35			0	5043	36	3		M							
	SPACE	-	37	0	5043			38	60	RTU-7	M							
	SPACE	-	39			0	5043	40	-		M							
	SPACE	-	41			0	5043	42	3		M							
				10266	10446	10086												
LOAD TYPE		CONNECTED KVA			TOTAL			FACTOR			DEMAND KVA			TOTAL				
		A	B	C	ALL PHASES	A	B	C	ALL PHASES	A	B	C	ALL PHASES	A	B	C	ALL PHASES	
	LIGHTING	0.0	0.0	0.0	0.0	125%	0.0	0.0	0.0	0.0								
	RECEPTACLE (10KVA OR LESS)	0.2	0.4	0.0	0.5	100%	0.2	0.4	0.0	0.5								
	RECEPTACLE (OVER 10KVA)	0.0	0.0	0.0	0.0	50%	0.0	0.0	0.0	0.0								
	HVAC/MOTOR	10.1	10.1	10.1	30.3	100%	10.1	10.1	10.1	30.3								
	MOTOR(LARGEST)	0.0	0.0	0.0	0.0	125%	0.0	0.0	0.0	0.0								
	KITCHEN EQUIPMENT	0.0	0.0	0.0	0.0	100%	0.0	0.0	0.0	0.0								
	MISCELLANEOUS	0.0	0.0	0.0	0.0	100%	0.0	0.0	0.0	0.0								
TOTAL KVA		10.3	10.4	10.1	30.8		10.3	10.4	10.1	30.8	TOTAL KVA		10.3	10.4	10.1	30.8		
WITH GROUND BUS		TOTAL AMPS			85.6	87.1	84.1	TOTAL AMPS			85.6							