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G1

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SLS

RD

ARCHITECTURAL / INTERIORS ABBREVIATIONS

& (E) (N) (R)	AND EXISTING NEW RELOCATED	IN INCL INFO INSUL
@ AB ACC ACOUS	AT ANCHOR BOLT ACCESSIBLE ACOLISTICAL	INT JAN
ACT AD ADD ADJ AFC AFF AFG ALT ALUM ANOD APPROX ADCH	ACOUSTIC CEILING TILE AREA DRAIN ADDITIONAL ADJACENT / ADJUSTABLE ABOVE FINISH CEILING ABOVE FINISH FLOOR ABOVE FINISH GRADE ALTERNATE ALUMINUM ANODIZED APPROXIMATE /APPROXIMATELY APPROXIMATE /APPROXIMATELY	L LAB LAM LAND LAV LB LF LOC LVR
ASSY BD BEL BFG BLDG BLKG BOT	ASSEMBLY BOARD BELOW BELOW FINISH GRADE BUILDING BLOCKING BOTTOM	MACH MAINT MAT'L MAX MDF MECH MEZZ MFR MIN MIR
CAB CEM CG CIP CJ CL CLG CLR	CABINET CEMENT CORNER GUARD CAST-IN-PLACE CONTROL JOINT / CONSTRUCTION JOINT CENTER LINE CEILING CLEAR	MISC mm MTD MTL N NA NFPA
cm CMU CNTR COL CONC CONN CONST	CENTIMETERS CONCRETE MASONRY UNIT COUNTER COLUMN CONCRETE CONNECTION CONSTRUCTION	NIAC NIC NOM NR NTS
CONT CONTR COORD CORR CTR CTSK	CONTINUOUS CONTRACTOR COORDINATE CORRIDOR CENTER COUNTER SUNK	OD OH OPNG OPP P
D DBL DCJ DEG DEMO DF DIA DIM DISP DMPF DN DO DP DPTN DR DR DRN DTL DW DWG DWR	DEEP / DEPTH DOUBLE DRYWALL CONSTRUCTION JOINT DEGREE DEMOLITION / DEMOLISH DRINKING FOUNTAIN / WATER COOLER DIAMETER DIMENSION DISPENSER / DISPOSAL DAMP PROOFING DOWN DOOR OPENING DIMENSION POINT DEMOUNTABLE PARTITION DOOR DRAIN DETAIL DISHWASHER DRAWING DRAWER	PAF PARTN PERF PERIM PERP PKG PL PLAM PLBG PLN PLYWD PNL PR PREFAB PROJ PSI PT PTD PTD PTN PVC PWR
E EA EB EJ EL ELEC ELEV EMERG ENCL EQ EQUIP ES EW EXH EXIST EXP EXT	EAST EACH EXPANSION BOLT / EXPANSION ANCHOR EXPANSION JOINT ELEVATION ELECTRICAL / ELECTRIC ELEVATOR EMERGENCY ENCLOSURE EQUAL EQUIPMENT EACH SIDE EACH WAY EXHAUST EXISTING EXPOSED / EXPANSION EXTERIOR	R RA RB RCP RD RECPT RE REF REF REF REF REF RESIL RES RES REV REV
FA FACT FD FDC	FIRE ALARM FACTORY FLOOR DRAIN FIRE DEPARTMENT CONNECTION	RM RO SAN
FDN FE FEC FF FFE / FF&E FHC FIN FIXT FL FLASH FO FP FPG FR FS FT FTG FURN	FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR FURNITURE, FINISHES & EQUIPMENT FIRE HOSE CABINET FINISH FIXTURE FLOOR FLASHING FACE OF FIRE PROTECTION FIREPROOFING FRAME / FIRE RATED / FIRE RETARDENT FIRE SPRINKLER FEET FOOTING FURNITURE	SCHED SECT SF SHT SHWR SIM SPEC SPKR SQ SS ST STC STD STL STOR STRUCT SUSP SYMM SYS
GA GALV GC GYP	GAUGE GALVANIZED GENERAL CONTRACT / CONTRACTOR GYPSUM / GYPSUM BOARD	T.O. TEL TEMP THRU TV
HB HC HDW HDWD HM HORIZ	HOSE BIBB HOLLOW CORE (DOOR) / HANDICAPPED HARDWARE HARDWOOD HOLLOW METAL HORIZONTAL	TYP UNO UON VIF
HR HSS HT HVAC	HOUR HOLLOW STRUCTURAL SECTION HEIGHT HEATING, VENTILATING, AIR CONDITIONING	W/ W/O WC WD

	DRAWING ANNOT
INCH INCLUDED / INCLUDING INFORMATION INSULATION INTERIOR	DRAWING TITLE:
JANITOR / JANITOR'S CLOSET	
LONG / LENGTH / LITRE LABORATORY LAMINATE / LAMINATION LANDSCAPE / LANDSCAPING LAVATORY POUND (WEIGHT) LINEAR FOOT / LINEAR FEET LOCATION LOUVER	GRAPHIC SYMBOLS: NORTH ARRO ROO ROO
METER MACHINE MAINTENANCE MATERIAL MAXIMUM MEDIUM DENSITY FIBERBOARD MECHANICAL MEZZANINE MANUFACTURER MINIMUM MIRROR MISCELLANEOUS MILLIMETER MOUNTED METAL	The second secon
NORTH NOT APPLICABLE NATIONAL FIRE PROTECTION AGENCY NOT IN ARCHITECTURAL CONTRACT NOT IN CONTRACT NOMINAL NOT RATED / NON-RATED NOT TO SCALE	DIMENSION: .1 '- 0" C
ON CENTER OUTSIDE DIAMETER / OUTSIDE DIMENSION OVERHEAD OPENING OPPOSITE	MATCH
PAINT POWDER ACTUATED FASTENER PARTITION PERFORATED PERIMETER PERPENDICULAR PARKING PLATE / PLASTIC LAMINATE / PROPERTY LINE PLASTIC LAMINATE PLUMBING PLAN PLYWOOD PANEL PAIR PREFABRICATED PROJECT	
POUNDS PER SQUARE INCH POINT / PAINT PAINTED PARTITION POLYVINYL CHLORIDE POWER	ALIGN NO
QUARRY TILE / QUART QUANTITY	REVISION SYMBOLS:
RADIUS / RIGHT RETURN AIR RESILIENT BASE / RUBBER BASE REFLECTED CEILING PLAN ROOF DRAIN RECEPTACLE REFER / REGARDING REFERENCE / REFRIGERATOR	
REFLECTED / REFLECTIVE / REFLECT REFRIGERATOR REINFORCED / REINFORCING REQUIRE(D) / REQUIREMENTS RESILIENT RETAINING REVISION / REVISE(D) ROOM ROUGH OPENING	TYPICAL SCHEDULE:
SANITARY SCHEDULE / SCHEDULED SECTION / VERTICAL SECTION SQUARE FEET SHEET SHOWER SIMILAR SPECIFICATION(S) SPEAKER SQUARE STAINLESS STEEL / SOLID SURFACE STONE	
SOUND TRANSMISSION COEFFICIENT STANDARD STEEL STORAGE STRUCTURAL SUSPENDED SYMMETRICAL	MATERIAL CUT LE
SYSTEM TOP OF TELEPHONE / TELECOM TEMPERATURE THROUGH TELEVISION	EARTH GRAVEL
UNLESS NOTED OTHERWISE UNLESS OTHERWISE NOTED	ASPHALT
VERIFY IN FIELD	

ATTACK PLYWOOD

WITHOUT

WOOD

WATER CLOSET

NNOTATION SYMBOLS AND CALLOUTS



PROJECT DESCRIPTION

NEW SINGLE STORY, MULTI-TENANT, WOOD FRAMED, RETAIL SHELL BUILDING.

GENERAL NOTES

GENERAL:

- 4. DISCREPANCIES BETWEEN ANY CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- MATERIALS, PRODUCT DATA, MOCK-UPS, AND OTHER REQUESTED COMMUNICATIONS.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS AND METHODS REQUIRED TO CONSTRUCT THE PROJECT IN COMPLIANCE WITH THE DESIGN INTENT. PERFORM THE WORK AT THE PROJECT SITE DURING THE OWNER'S NORMAL BUSINESS HOURS, UNLESS OTHERWISE NOTED.
- 9. VERIFY FIELD CONDITIONS FOR COORDINATION WITH THE PROJECT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK. COORDINATE THE WORK WITH EQUIPMENT, FURNISHINGS, AND SYSTEMS PROVIDED BY THE OWNER.
- SPECIFICATIONS, OR THAT ARE INDUSTRY STANDARD APPLICATIONS AND CUSTOMARILY PERFORMED SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MISDESCRIBED DETAILS OF THE WORK.
- PURPOSE, AND IMPORTANCE OF THE DOCUMENTS PROVIDED
- 13. REFER TO CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, AND ELECTRICAL FOR ADDITIONAL INFORMATION AND A FULL DESCRIPTION OF THE WORK 14. CONTROLS, OPERATING MECHANISMS AND HARDWARE INTENDED FOR OPERATION BY OCCUPANTS, INCLUDING SWITCHES THAT CONTROL LIGHTING AND VENTILATION AND ELECTRICAL OUTLETS IN ACCESSIBLE SPACES, AND ALONE ACCESSIBLE ROUTES SHALL BE ACCESSIBLE COMPLYING WITH SECTION 308, ICC/ANSI A117.1-1998.
- TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL. SPRINKLER SYSTEM TO BE DESIGNED AROUND MECHANICAL DUCTS TO ALLOW FOR REQUIRED CLEARANCES.

DEFINITIONS:

- 1. "TYPICAL" OR "TYP" INDICATES IDENTICAL COMPLETE SYSTEM SHALL BE PROVIDED FOR ALL OCCURRENCES OF THE CONDITION NOTED.
- "AS REQUIRED" INDICATES COMPONENTS REQUIRED TO COMPLETE THE NOTED SYSTEM AS INDICATED IN THE PROJECT DOCUMENTS SHALL BE PROVIDED.

DIMENSIONS:

- 2. DIMENSIONS SHALL NOT BE DETERMINED BY SCALING THE DRAWINGS.
- NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPENCY PRIOR TO PROCEEDING WITH THE WORK. 4. DIMENSIONS ARE TO FACE OF STUD, CONCRETE, OR CMU UNO.
- CONTRACTORS COMPLETE RESPONSIBILITY
- 7. CEILING HEIGHTS ARE INDICATED FROM THE FLOOR ELEVATION TO THE FACE OF SUSPENDED SUSPENDED CEILING SYSTEM OR FACE OF FINISH MATERIAL AS SCHEDULED.
- 8. DIMENSIONS INDICATING "CLEAR WIDTH" SHALL BE FROM FINISH FACE TO FINISH FACE 9. TYPICAL DIMENSIONS FROM DOOR OPENING TO PERPENDICULAR WALL IS 4" DIMENSION TO PATCH PLAN INDICATION
- 11. ALIGNMENT OF PARTITIONS AND FINISHES AS SCHEDULED SHALL BE STRAIGHT, TRUE & PLUMB. THE PRIORITY FOR PROJECT DIMENSIONS SHALL BE IN THE FOLLOWING ORDER: A. MIN DIMENSION FOR BARRIER FREE ACCESSIBILITY CLEARANCE & BUILDING CODE REQ B. LARGE SCALE DETAILS
 - C. SMALL SCALE DETAILS D. ENLARGED VIEWS
 - E. FLOOR PLANS AND ELEVATIONS

UT LEGEND:







THESE DOCUMENTS REPRESENT THE DESIGN INTENT FOR THE SUBJECT CONSTRUCTION AND ARE NOT INTENDED TO BE A COMPLETE SET OF INSTRUCTIONS ON HOW TO CONSTRUCT A BUILDING PROJECT. THESE DRAWINGS SHALL BE TAKEN AS A PART OF THE ENTIRE PROJECT DESIGN INFORMATION, AND SHALL BE USED IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS, REFERENCE DOCUMENTS, PERFORMANCE SPECIFICATIONS, AND ANY OWNER-SUPPLIED BUILDING PERFORMANCE CRITERIA TO CONVEY THE REQUIREMENTS OF THE DESIGN. 3. ANYTHING MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, OR SHOWN IN THE DRAWINGS BUT NOT IN THE SPECIFICATIONS SHALL BE INTERPRETED AS BEING IN BOTH. ENLARGED SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS, PROJECT SPECIFICATIONS SHALL TAKE PRECEDENCE OVER DRAWING NOTES.

5. THE CONTRACTOR SHALL REVIEW AND DEMONSTRATE UNDERSTANDING OF THE DESIGN INTENT DEPICTED HERE THROUGH SUBMITTAL OF REQUESTED PROJECT COORDINATION DRAWINGS, SAMPLES,

THE CONTRACTOR SHALL WORK WITHIN THE AREA BOUNDARIES INDICATED IN THE PROJECT DOCUMENTS, AND COMPLY WITH ALL APPLICABLE BUILDING CODE, REGULATION, & ORDINANCE REQUIREMENTS. 8. OCCUPANTS ADJACENT TO THE PROJECT AREA BOUNDARIES SHALL CONTINUE UNINTERRUPTED OCCUPANCY DURING CONSTRUCTION OF THE PROJECT. COORDINATE ALL LOGISTICS WITH OWNER.

10. OMISSIONS FROM THE DRAWINGS OR SPECIFICATIONS, OR THE INCORRECT DESCRIPTION OF DETAILS OF WORK THAT ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND

11. THE CONTRACTOR SHALL IN ALL CASES APPLY CONSTRUCTION INDUSTRY BEST PRACTICES TO ALL CONSTRUCTION ACTIVITIES PERFORMED UNDER THEIR AUTHORITY. 12. THESE NOTES SHALL NOT BE CONSTRUED AS ALTERING ANY REQUIREMENT OF THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, AND ARE PROVIDED HERE TO HELP CLARIFY THE ROLE,

15. AUTOMATIC FIRE SPRINKLER SYSTEM PLANS SHALL BE SUBMITTED BY CONTRACTOR TO DETERMINE COMPLIANCE WITH APPLICABLE BUILDING, PLUMBING AND FIRE CODES. DRAWINGS SHALL BE SUBMITTED

2. "SIMILAR" OR "SIM." INDICATES COMPLETE SYSTEM AND COMPONENTS SHALL BE PROVIDED COMPARABLE TO THE CHARACTERISTICS OF THE DESIGN INTENT FOR THE CONDITION NOTED. 4. "ALIGN" INDICATES ACCURATELY PROVIDE FINISH FACES OF MATERIALS IN STRAIGHT, TRUE, AND PLUMB RELATION TO ADJACENT MATERIALS.

DIMENSIONS SHOWN ON THE DRAWINGS SHALL INDICATE THE INTENDED SIZE, CLEARANCE, AND DIMENSIONAL RELATIONSHIP BETWEEN PROJECT SYSTEMS AND COMPONENTS.

5. VERIFY ALL OPENINGS THROUGH FLOORS, ROOF, AND WALLS WITH PLUMBING, MECHANICAL, AND ELECTRICAL SUB-CONTRACTORS. VERIFICATION OF LOCATIONS & SIZES, RATINGS ARE GENERAL 6. VERTICAL MASONRY DIMENSIONS ARE TO TOP OF MASONRY COURSE - WIDTHS AND OPENING DIMENSIONS ARE NOMINAL MODULAR I.E. WIDTHS OF MASONRY ELEMENTS ARE 3/8" LESS THAN INDICATED AND WIDTHS OF MASONRY OPENINGS ARE 3/8" MORE THAN INDICATED - OVERALL BUILDING WIDTH TO BE STRETCHED 3/8" TO MATCH INDICATED DIMENSIONS

10. MOVEMENT OF THE SLAB ON GRADE MAY CAUSE DAMAGE TO ANYTHING CONNECTED TO BOTH THE SLAB AND OTHER PORTIONS OF THE SUPERSTRUCTURE - ISOLATION DETAILS FOR PARTITIONS, WALLS, BASEBOARDS, & OTHER ITEMS MAY BE REQUIRED - REFER TO APPROPRIATE DRAWINGS OR CONSULT WITH THE RESPONSIBLE MEMBER OF THE DESIGN TEAM PRIOR TO MAKING SUCH CONNECTIONS





PROFESSIONAL SEAL



CODE PLAN SYMBOLS LEGEND

DIRECTION OF EXIT ACCESS TRAVEL F.D. PRIMARY FIRE DEPARTMENT ACCESS

— LONGEST PATH OF TRAVEL

HANDICAP ACCESSIBLE FIXTURE / EQUIPMENT

FIRE DEPARTMENT ACCESS BOX -'KNOX' OR SIM

			CODE ARE	A OCCUPANCY SCHEDULE
Number	Name	Area	Area Per Occupant	Classificat
101	TENANT 1	2200 SF	100 SF	Business Areas
102	TENANT 2	3812 SF	30 SF	Mercantile Basement and Grade Floor Are
100	TENANT 3	3000 SF	30 SF	Mercantile Basement and Grade Floor Are
TOTAL		9012 SF	,	·





						CODE	E SUMMARY				_		
COMcheck Software Ver	sion 4.0	.3.1 ertif	icate	a a a a a a a a a a a a a a a a a a a		PROJECT INFORMATION:]		$\overline{}$	-	
Project Information						PROJECT NAME: RED CLI LOCATION: 880 W. F	FFS PLAZA ED CLIFFS DRIVE WASHI	INGTON, UT 847	780				401
Energy Code: 2015 IECC Project Title: Red Cliffs Plaza						USE DESCRIPTION: B				C	N		EN CO 804
Location: Washington, Utan Climate Zone: 3b Project Type: New Construction Vertical Clazing / Wall Area: 28%								, CO (ARAPAHO	E COUNTY)		ノ		00, GOLDE .458.9666
Construction Site: Owner/Agent: 880 W Red Cliffs Dr Atman Kadakia Washington, UT 84780 Greens 9289 Research Dr Irvine, CA 92618 9498294903 admin.kadakia@gr	eens.com	Desi Ro Stu 13 Su De 30 infi	gner/Contrac bert Davis Jdio DH Arcl 00 Jackson 9 ite 200 nver, CO 80 34589600 o@studio-dł	tor: hitecture St 1401 h.us		2015 INTERNATIONAL BUILDIN 2014 NATIONAL ELECTRIC CC 2015 INTERNATIONAL PLUMB 2015 INTERNATIONAL MECHA 2015 INTERNATIONAL FUEL G 2015 INTERNATIONAL ENERG 117.1 ANSI (AS REFERENCED	IG CODE (IBC) DE (NEC) NG CODE (IPC) NICAL CODE (IMC) AS CODE (IFGC) Y CONSERVATION CODE IN THE 2015 INTERNATIO	(IECC) NAL BUILDING	CODE)		C C C C		ACKSON STREET, SUITE 20 E: 303.458.9600 FAX: 303
Building Area	Floor A	Area				CHAPTER 1: SCOPE AND ADM	INISTRATION				1]-		1300 J PHON
1-Retail : Nonresidential Additional Efficiency Package	9	9222				FLOOR AND ROOF DESIGN LO MAIN LEVEL FLOOR *	DADS: SECTION 106	100 PSF					
High efficiency HVAC. Systems that do not meet the performance require report.	ment will be identi	ified in the n	nechanical re	quirements che	cklist	* DURABLE FLOOR LIVE LOAD SIGNS MUST I UNLAWFUL TO REMOVE OR DEFACE THIS N ADJACENT PLATFORM.	BE CONSPICUOUSLY POSTED BY CON DTICE." ONE SIGN TO BE POSTED IN	NTRACTOR. INCLUDE (FOYER, OTHER TO BE	ON EACH SIGN "IT IS POSTED ON WALL				
Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U- Factor _(e)	CHAPTER 5: GENERAL BUILD CONSTRUCTION TYPE: TABLE	ING HEIGHTS AND AREA	. S "YPE V - B (Nor	n- Sprinkled)				
Roof 1: Insulation Entirely Above Deck: High Albedo Roof Required, 3- Year-Aged Solar Reflectance Index = 79.00 (e), [Bldg. Use 1 - Retail] Roof 2: Metal Building, Standing Seam: High Albedo Roof Required, Single Insulation Layer with Thermal Blocks (d), 3-Year-Aged Solar Reflectance = 0.60, Thermal Emittance = 0.84 (e), [Bldg. Use 1 - Retail] Floor 1: Slab-On-Grade:Unheated, Vertical 1 ft., [Bldg. Use 1 - Pateil (d).	7496 1726 432	0.0	25.0 25.0 10.0	0.039 0.039 0.580	0.039 0.035 0.580	GROSS SQUARE FOOTAGE A GROSS SQUARE FOOTAGE P STORIES (ALLOWED):	LOWED PER STORY: 1 ROPOSED: 9 1	5,366 SF (30,73),127 SF TOTAL	2 SF TOTAL)				
Retail] (c) <u>NORTH</u> North Elevation EIFS: Wood-Framed, 16" o.c., [Bldg. Use 1 - Retail]	720	21.0	0.0	0.062	0.064	BUILDING HEIGHT (ALLOWED): 4	0'-0"					
North Elevation Siding: Wood-Framed, 16" o.c., [Bldg. Use 1 - Retail] North Elevation CMU: Wood-Framed, 16" o.c., [Bldg. Use 1 - Retail] Window 1: Metal Frame Curtain Wall/Storefront, Perf. Specs.: Product ID Viracon 1" VS1-20 Insulating, SHGC 0.23, PF 0.50, [Bldg. Use 1 - Retail] (b)	392 646 408	21.0 21.0 	0.0 0.0	0.062 0.062 0.420	0.064 0.064 0.460	TOWER HEIGHT (PROVIDED): TOWER HEIGHT (ALLOWED): TOWER HEIGHT (PROVIDED):): 2 4 3	24'-0" 90'-0" 95'-0"			J		
EAST East Elevation EIFS: Wood-Framed, 16" o.c., [Bldg, Use 1 - Retail] East Elevation Siding: Wood-Framed, 16" o.c., [Bldg, Use 1 - Retail] East Elevation CMU: Wood-Framed, 16" o.c., [Bldg, Use 1 - Retail]	800 296 1525	21.0 21.0 21.0	0.0 0.0 0.0	0.062 0.062 0.062	0.064 0.064 0.064	CHAPTER 6: TYPES OF CONS FIRE RESISTIVE RATING REQUIREMENTS	TRUCTION (TABLE 601) FOR BUILDING ELEMENTS	DATIN	с (ЦРС)		C J		
5x spandrel windows: Metal Frame Curtain Wall/Storefront, Perf. Specs.: Product ID Viracon Spandrel, SHGC 0.23, [Bldg. Use 1 - Project Title: Red Cliffs Plaza Data filename: P:\16025 - Greens Utah Shell\Documents\Code\2	431 015-COMCheck			0.300 Report o Pa	0.460 date: 08/21/16 ge 1 of 9	PRIMARY STRUCTURAL FRAM EXTERIOR BEARING WALLS INTERIOR BEARING WALLS	IE		0 0 0		-)		
Assembly	Gross Area	Cavity	Cont.	Proposed	Budget U-	EXTERIOR NONBEARING WAL INTERIOR NONBEARING WAL FLOOR CONSTRUCTION AND	LS AND PARTITIONS _S AND PARTITIONS SECONDARY MEMBERS		0 0 0		-		
Retail] (b) Tower Window: Metal Frame Curtain Wall/Storefront, Perf. Specs.: Product ID Viracon 1" VS1-20 Insulating, SHGC 0.23, [Bldg. Use 1 -	or Perimeter 625	R-Value	R-Value	U-Factor 0.420	Factor(a)	ROOF CONSTRUCTION AND S * FOOTNOTE d OF TABLE 601 HAS BEEN A CONSTRUCTION - NO ALLOWABLE AREA I	ECONDARY MEMBERS PPLIED. WE HAVE SUBSTITUTED A S NCREASE AND NO ALLOWABLE HEIGH	PRINKLER SYSTEM FO	0 DR 1-HR RATED		L L		s Ulive Ih 84780
Retail] (b) <u>SOUTH</u> South Elevation EIFS: Wood-Framed, 16" o.c., [Bldg. Use 1 - Retail] South Elevation Siding: Wood-Framed, 16" o.c., [Bldg. Use 1 - Retail] South Elevation CML: Wood-Framed, 16" o.c., [Bldg. Use 1 - Retail]	428 749 738	21.0 21.0 21.0	0.0	0.062	0.064	CHAPTER 6: TYPES OF CONS FIRE RESISTIVE RATING REQUIREMENTS	TRUCTION (TABLE 602) FOR EXTERIOR WALLS BASED ON FIR	RE SEPARATION DISTA	NCE		נ		ton, Uta
Main Corner Window: Metal Frame Curtain Wall/Storefront, Perf. Specs.: Product ID Viracon 1" VS1-20 Insulating, SHGC 0.23, [Bldg. Use 1 - Retail] (b) WEST	391			0.420	0.460	DISTANCE < 10'-0" DISTANCE > 30'-0"		1H NC	R DNE		ļ		/ashing
West Elevation EIFS: Wood-Framed, 16" o.c., [Bldg. Use 1 - Retail] West Elevation Siding: Wood-Framed, 16" o.c., [Bldg. Use 1 - Retail] West Elevation CMU: Wood-Framed, 16" o.c., [Bldg. Use 1 - Retail] double door window: Metal Frame Curtain Wall/Storefront, Perf. Specs.: Product ID Viracon 1" VS1-20 Insulating, SHGC 0.23, PF 0.48, [Bldg.	1093 715 1550 103	21.0 21.0 21.0	0.0 0.0 0.0	0.062 0.062 0.062 0.420	0.064 0.064 0.064 0.460	CHAPTER 8: INTERIOR FINISH EXIT ENCLOSURES AND PASS	IES BAGEWAYS	CLASS A*				o SFAL	ō S
Use 1 - Retail] (b) 3x windows under awning: Metal Frame Curtain Wall/Storefront, Perf. Specs.: Product ID Viracon 1" VS1-20 Insulating, SHGC 0.23, PF 0.48, [Bldg. Use 1 - Retail] (b) 2x windows: Metal Frame Curtain Wall/Storefront, Perf. Specs.: Product	248	-		0.420	0.460	CORRIDORS ROOMS AND ENCLOSED SPA * FLAME SPREAD 0-25, SMOKE DEVELOPED ** FLAME SPREAD 26-75, SMOKE DEVELOPE	CES 0-450 D 0-450	CLASS B** CLASS C**	**		BOIONAL	OLAL.	
ID Viracon 1" VS1-20 Insulating, SHGC 0.23, [Bldg. Use 1 - Retail] (b) Tower Window: Metal Frame Curtain Wall/Storefront, Perf. Specs.: Product ID Viracon 1" VS1-20 Insulating, SHGC 0.23, [Bldg. Use 1 - Patail (b)	359			0.420	0.460	CHAPTER 9: FIRE PROTECTIO	DN SYSTEMS						
 (a) Budget U-factors are used for software baseline calculations ONL¹ (b) Fenestration product performance must be certified in accordance (c) Slab-On-Grade proposed and budget U-factors shown in table are (d) Thermal spacer block with minimum R-3.5 must be installed above (e) High albedo roof requirement options: 1) 3-year aged solar reflects index >= 64.0, 3) Initial year aged solar reflectance >= 0.70 thermat Envelope PASSES: Design 1% better than code 	Y, and are not coor with NFRC and ro F-factors. a the purlin/batt, a ance >= 0.55 ther al emittance >= 0.	de requireme equires supp nd the roof o mal emittano 75, 4) Initial	ents. porting docum deck secured ce >= 0.75, 2) year aged so	nentation. to the purlins. 3-year aged so lar reflectance	olar reflectance index >= 82.0.	SPRINKLERS: SECTION 903.2. MANUAL FIRE ALARM: SECTION NOTE: HIGH-PILED COMBUST PER IFC CHAPTER 23.	1.3 DN 907.2.1 IBLE STORAGE NOT TO E	NOT PROV NOT PROV XCEED 12'-0" IN	/IDED /IDED N HEIGHT;				
Envelope Compliance Statement Compliance Statement: The proposed envelope design represent specifications, and other calculations submitted with this permit	nted in this docu application. The	ument is co e proposed	onsistent wit I envelope s	th the building ystems have	g plans, been	CHAPTER 10: MEANS OF EGR OCCUPANT LOAD = (252 OCC	ESS UPANTS): TABLE 1004.1.1	REQ'D	PROV				
designed to meet the 2015 IECC requirements in COM <i>check</i> Vers listed in the Inspection Checklist.	sion 4.0.3.1 and	l to comply	with the m	andatory requ	lirements	MINIMUM EXIT WIDTH: SECTION	DN 1005.1	32"	36" 252"	COI	YRIGHT Stud	o DH Archite	cture, P.C.
Name - Title Signature			2	Date		DOOR 101 (11 OCC.) *	/	32"	36"	Service the Arcl	and as such s itect. Any use of the Arch	hall remain t without writt	he property of ten permission ful.
						DOOR 102 (11 OCC.) *		32"	36" 72"				
						DOOR 105 (50 OCC.) * DOOR 106 (65 OCC.) * ACCESSIBLE MEANS OF EGR	ESS: SECTION 1007.1	32" 32"	36" 36"	REV. #			
Project Title: Red Cliffs Plaza				Report	date: 08/21/16	TENANT 1 TENANT 2 TENANT 3		1 1 1	2 2 2				
Data filename: P:\16025 - Greens Utah Shell\Documents\Code\2	2015-COMCheck	cck		Pa	ge 2 of 9	COMMON PATH OF EGRESS T EXIT ACCESS TRAVEL DISTAN	RAVEL: SECTION 1014.3 ICE: TABLE 1016.1						
						TENANT 1 TENANT 2		200'-0" 200'-0"	74'-7" 36'-0"	FOR			
						TENANT 3 CORRIDOR FIRE-RESISTANCE	E RATING: TABLE 1018.1	200'-0" 0	55'-0" 0	SUED			
						DEAD ENDS: 1018.4 (NOT TO E MIN. NUMBER OF EXITS PER	EXCEED) STORY: TABLE 1021.1	20'-0"	0'-0"	S F			
						MAIN LEVEL MIN. NUMBER OF EXITS FROM * PER SECTION 1028.2 - THE MAIN EXIT IS OF OCCUPANT LOAD	A BUILDING: TABLE 1021.	2 1 2 ATE MORE THAN ONE-	6 6 HALF OF THE	MIT/BID SE			
						CHAPTER 11: ACCESSIBILITY				PER			
						ACCESSIBLE ROUTE TO ALL F ENTRIES: SECTION 1105	PUBLIC WAYS: SECTION 1	1103.1 60% (1	YES MIN.) REQ'D	DATE 8/20/2015			
						CHAPTER 29: PLUMBING SYS	REOID						16025
						MALE (126.5 OCCUPANTS) 1 PER 150	1 WATER CLOSET	PROVIDED TENANTS	BY FUTURE	APPRC	VED BY:		SLS RD
						1 PER 200 FEMALE (126.5 OCCUPANTS) 1 PER 75	1 LAVATORY 2 WATER CLOSET	PROVIDED	BY FUTURE	DATE:	nal drawing is	7, 24" x 36" 94	/15/2016
						1 PER 200 OTHER PLUMBING (253 OCC) 1 PER 1000	1 LAVATORY	PROVIDED	BY FUTURE	SHEET	accordin	gly if reduced	d
							I SERVICE SINK	IENANTS			CODE SUN	PLAN IMARY	&

						CODES	SUMMARY			II	_	
COM <i>check</i> Software Ver	sion 4.0	.3.1 ortifi	icato			PROJECT INFORMATION:						
		erun	icale			PROJECT NAME: RED CLIFFS	PLAZA					
Project Information						LOCATION: 880 W. RED (USE DESCRIPTION: B	CLIFFS DRIVE WASHING	TON, UT 847	780			80401
Energy Code: 2015 IECC Project Title: Red Cliffs Plaza Location: Washington, Utah											0 _	DEN CO
Climate Zone: 3b Project Type: New Construction Vertical Clazing / Wall Area: 28%												00, GOLI .458.966
Construction Sites Ourse/Acent		Desi				2015 INTERNATIONAL BUILDING C 2014 NATIONAL ELECTRIC CODE (2015 INTERNATIONAL PLUMBING ((NEC) CODE (IBC)				U U	SUITE 20
Construction Site: Owner/Agent: 880 W Red Cliffs Dr Artman Kadakia Washington, UT 84780 Greens 9289 Research Dr Irvine, CA 92618 9498294903 admin.kadakia@gre	eens.com	Desi Rol Stu 134 Sui De 303 infe	gner/Contract bert Davis Jdio DH Arch 00 Jackson S ite 200 nver, CO 80 34589600 o@studio-dh	nitecture St 1401 n.us		2015 INTERNATIONAL PLOMBING 2015 INTERNATIONAL MECHANICA 2015 INTERNATIONAL FUEL GAS C 2015 INTERNATIONAL ENERGY CC 117.1 ANSI (AS REFERENCED IN T	AL CODE (IFG) CODE (IFGC) DNSERVATION CODE (IEC HE 2015 INTERNATIONAL	CC) _ BUILDING	CODE)		c h i t	CKSON STREET, 5 303.458.9600 F
Building Area	Floor A	rea				CHAPTER 1: SCOPE AND ADMINIS	STRATION				ō	1300 JA PHONE:
1-Retail : Nonresidential	9	222				FLOOR AND ROOF DESIGN LOADS	S: SECTION 106					
Additional Efficiency Package High efficiency HVAC. Systems that do not meet the performance requirer report.	ment will be identi	ified in the m	nechanical rec	quirements che	cklist	* DURABLE FLOOR LIVE LOAD SIGNS MUST BE CON UNLAWFUL TO REMOVE OR DEFACE THIS NOTICE.	 NSPICUOUSLY POSTED BY CONTRAC ." ONE SIGN TO BE POSTED IN FOYEI	CTOR. INCLUDE (R, OTHER TO BE	ON EACH SIGN "IT IS POSTED ON WALL			
Envelope Assemblies												
Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U- Factor _(a)	CHAPTER 5: GENERAL BUILDING	HEIGHTS AND AREAS					
Roof 1: Insulation Entirely Above Deck: High Albedo Roof Required, 3- Year-Aged Solar Reflectance Index = 79.00 (e), [Bldg. Use 1 - Retail]	7496		25.0	0.039	0.039	GROSS SQUARE FOOTAGE ALLOV	WED PER STORY: 15,36	= V - B (Noi 66 SF (30,73	1- Sprinkled) 2 SF TOTAL)			
Roof 2: Metal Building, Standing Seam: High Albedo Roof Required, Single Insulation Layer with Thermal Blocks (d), 3-Year-Aged Solar Reflectance = 0.60, Thermal Emittance = 0.84 (e), [Bldg. Use 1 - Retail]	1726	0.0	25.0	0.039	0.035	GROSS SQUARE FOOTAGE PROP STORIES (ALLOWED):	OSED: 9,127	7 SF TOTAL				
Floor 1: Slab-On-Grade:Unheated, Vertical 1 ft., [Bldg. Use 1 - Retail] (c)	432		10.0	0.580	0.580	STORIES (PROVIDED):	1					
North Elevation EIFS: Wood-Framed, 16" o.c., [Bldg. Use 1 - Retail] North Elevation Siding: Wood-Framed, 16" o.c., [Bldg. Use 1 - Retail]	720 392	21.0 21.0	0.0 0.0	0.062 0.062	0.064 0.064	BUILDING HEIGHT (ALLOWED): BUILDING HEIGHT (PROVIDED):	24'-0'	"				
North Elevation CMU: Wood-Framed, 16" o.c., [Bldg. Use 1 - Retail] Window 1: Metal Frame Curtain Wall/Storefront, Perf. Specs.: Product ID Viracon 1" VS1-20 Insulating, SHGC 0.23, PF 0.50, [Bldg. Use 1 -	646 408	21.0	0.0	0.062 0.420	0.064 0.460	TOWER HEIGHT (ALLOWED): TOWER HEIGHT (PROVIDED):	40'-0' 35'-0'	"		N		
Retail] (b) EAST Fast Elevation ELES: Wood-Framed 16" o.c. [Bldg. Use 1 - Retail]	800	21.0	0.0	0.062	0.064							
East Elevation Siding: Wood-Framed, 16" o.c., [Bldg. Use 1 - Retail] East Elevation CMU: Wood-Framed, 16" o.c., [Bldg. Use 1 - Retail]	296 1525	21.0 21.0 21.0	0.0 0.0	0.062	0.064 0.064		SUILDING ELEMENTS	DATIN				
5x spandrel windows: Metal Frame Curtain Wall/Storefront, Perf. Specs.: Product ID Viracon Spandrel, SHGC 0.23, [Bldg. Use 1 -	431			0.300	0.460	PRIMARY STRUCTURAL FRAME		KATIN	0			
Project Title: Red Cliffs Plaza Data filename: P:\16025 - Greens Utah Shell\Documents\Code\2	015-COMCheck	.cck		Report o Pa	date: 08/21/16 ge 1 of 9	EXTERIOR BEARING WALLS INTERIOR BEARING WALLS			0	() ()		
						EXTERIOR NONBEARING WALLS A	AND PARTITIONS		0	L L		
Assembly	Gross Area	Cavity	Cont.	Proposed	Budget U-	FLOOR CONSTRUCTION AND SEC	CONDARY MEMBERS		0			0
Retail (b)	Perimeter	R-value	R-value	0-racio	Factor(a)	* FOOTNOTE d OF TABLE 601 HAS BEEN APPLIE	DNDARY MEMBERS	KLER SYSTEM FO	0 PR 1-HR RATED			rrive 478
Tower Window: Metal Frame Curtain Wall/Storefront, Perf. Specs.: Product ID Viracon 1" VS1-20 Insulating, SHGC 0.23, [Bldg. Use 1 - Retail] (b)	625			0.420	0.460		ASE AND NO ALLOWABLE HEIGHT INC	JREASE.		U U		liffs D Jtah 8
SOUTH South Elevation EIFS: Wood-Framed, 16" o.c., [Bldg. Use 1 - Retail] South Elevation Siding: Wood-Framed, 16" o.c., [Bldg. Use 1 - Retail]	428 749	21.0	0.0	0.062	0.064	CHAPTER 6: TYPES OF CONSTRU FIRE RESISTIVE RATING REQUIREMENTS FOR EX	JCTION (TABLE 602) XTERIOR WALLS BASED ON FIRE SEF	PARATION DISTA	NCE			م م ر
South Elevation CMU: Wood-Framed, 16" o.c., [Bldg. Use 1 - Retail] Main Corner Window: Metal Frame Curtain Wall/Storefront, Perf. Specs.: Product ID Viracon 1" VS1-20 Insulating, SHGC 0.23, [Bldg.	738 391	21.0	0.0	0.062 0.420	0.064 0.460	DISTANCE < 10'-0"		1H	R	Ш		V. Re ingto
Use 1 - Retail] (b) <u>WEST</u> West Elevation EIES: Wood-Framed 16" o.c. [Bldg. Use 1 - Retail]	1092	21.0	0.0	0.062	0.064	DISTANCE > 30'-0"		NC	INE			80 V Vash
West Elevation Siding: Wood-Framed, 16" o.c., [Bldg. Use 1 - Retail] West Elevation CMU: Wood-Framed, 16" o.c., [Bldg. Use 1 - Retail]	715 1550	21.0 21.0 21.0	0.0	0.062	0.064 0.064	CHAPTER 8: INTERIOR FINISHES						0 >
double door window: Metal Frame Curtain Wall/Storefront, Perf. Specs.: Product ID Viracon 1" VS1-20 Insulating, SHGC 0.23, PF 0.48, [Bldg. Use 1 - Retail] (b)	103			0.420	0.460	EXIT ENCLOSURES AND PASSAGE CORRIDORS	EWAYS	CLASS A* CLASS B*'		PROFESS	IONAL SE/	AL:
3x windows under awning: Metal Frame Curtain Wall/Storefront, Perf. Specs.: Product ID Viracon 1" VS1-20 Insulating, SHGC 0.23, PF 0.48, [Bldg. Use 1 - Retail] (b)	248			0.420	0.460	ROOMS AND ENCLOSED SPACES * FLAME SPREAD 0-25, SMOKE DEVELOPED 0-450		CLASS C*	*			
2x windows: Metal Frame Curtain Wall/Storefront, Perf. Specs.: Product ID Viracon 1" VS1-20 Insulating, SHGC 0.23, [Bldg. Use 1 - Retail] (b) Tower Window: Metal Frame Curtain Wall/Storefront, Perf. Specs.:	165 359			0.420	0.460	** FLAME SPREAD 26-75, SMOKE DEVELOPED 0-450 *** FLAME SPREAD 76-200, SMOKE DEVELOPED 0-4	0 450					
Product ID Viracon 1" VS1-20 Insulating, SHGC 0.23, [Bldg. Use 1 - Retail] (b)	Y and are not cod	le requireme	ants			CHAPTER 9: FIRE PROTECTION S	YSTEMS					
 (b) Fenestration product performance must be certified in accordance (c) Slab-On-Grade proposed and budget U-factors shown in table are (d) Thermal spacer block with minimum R-3.5 must be installed above (e) High albedo roof requirement options: 1) 3-year aged solar reflectance >= 0.70 therma 	with NFRC and re F-factors. e the purlin/batt, and ance >= 0.55 therr al emittance >= 0.7	equires supp nd the roof o mal emittano 75, 4) Initial	deck secured be >= 0.75, 2) year aged so	nentation. to the purlins. 3-year aged so lar reflectance	olar reflectance index >= 82.0.	SPRINKLERS: SECTION 903.2.1.3 MANUAL FIRE ALARM: SECTION 90 NOTE: HIGH-PILED COMBUSTIBLE PER IFC CHAPTER 23.	07.2.1 STORAGE NOT TO EXCE	NOT PRO NOT PRO EED 12'-0" II	/IDED /IDED N HEIGHT;			
Envelope Compliance Statement				1. al 1 11 d'		CHAPTER 10: MEANS OF EGRESS	3					
Compliance Statement: The proposed envelope design represent specifications, and other calculations submitted with this permit designed to meet the 2015 IECC requirements in COMcheck Vers listed in the Inspection Checklist	application. The sign 4.0.3.1 and	e proposed to comply	envelope s with the m	stems have andatory requ	g plans, been uirements	OCCUPANT LOAD = (252 OCCUPA	NTS): TABLE 1004.1.1	REQ'D	PROV			
Name - Title Signature				Date		MAIN LEVEL TOTAL (252 OCC.)	000.1	192"	252"	COPYRI Drawings a Service and	GHT Studio DH and Specificatio	Architecture, P.C. ons are Instruments of remain the property of
						DOOR 101 (11 OCC.) * DOOR 102 (11 OCC.) *		32" 32"	36"	the Architec	t. Any use with of the Architect	out written permission is unlawful.
						DOOR 103 (65 OCC.) *		32" 32"	36"			
						DOOR 105 (55 OCC.) *		32"	36"	E </td <td></td> <td></td>		
						ACCESSIBLE MEANS OF EGRESS:	: SECTION 1007.1	32	30	2		
						TENANT 1 TENANT 2		1 1	2			
Project Title: Red Cliffs Plaza Data filename: P:\16025 - Greens Utab Shell\Documents\Code\2	015-COMChool	cck		Report	date: 08/21/16	TENANT 3 COMMON PATH OF FORESS TRAN	/EL: SECTION 1014 3	1	2			
	concleck			Fd	J	EXIT ACCESS TRAVEL DISTANCE:	TABLE 1016.1	2001 0"	741 71			
						TENANT 2		200-0	36'-0"	FOR		
						TENANT 3 CORRIDOR FIRE-RESISTANCE RA	TING: TABLE 1018.1	200'-0" 0	55'-0" 0	SUED		
						DEAD ENDS: 1018.4 (NOT TO EXCE MIN_NUMBER OF EXITS PER STOP	EED) RY: TABLE 1021 1	20'-0"	0'-0"			
								2	6	D S L		
						* PER SECTION 1028.2 - THE MAIN EXIT IS OF SUFF OCCUPANT LOAD	FICIENT WIDTH TO ACCOMMODATE M	Z IORE THAN ONE-	HALF OF THE	MIT/BI		
										PERI		
								4		-Е]15		
						ENTRIES: SECTION 1105	LIC WATS: SECTION 1103	60% (1	MIN.) REQ'D	DA1 /20/20		
						CHAPTER 29: PLUMBING SYSTEM	IS				⊥⊥⊥⊥ BER:	40005
						RF	EQ'D:	PROV:		DRAWN B		16025
						MALE (126.5 OCCUPANTS)						SLS
						1 PER 200	LAVATORY	TENANTS	דע FUIUKE			RD
						FEMALE (126.5 OCCUPANTS)				DATE:		7/15/2016
						1 PER 200 1 L	LAVATORY	TENANTS	DIFUIUKE	Original o	Irawing is 24" x accordingly if	36" Scale entities
						OTHER PLUMBING (253 OCC) 1 PER 1000 1 [PROVIDED	BY FUTURE	SHEET TI	ΓLE:	
						1 SERVICE SINK 1 S	SERVICE SINK	IENANTS		C		LAN &
											SUIVIIVIA	

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G1.3

SHEET:



GENERAL NOTES

CONTRACTOR IS RESPONSIBLE TO VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO

COMMENCEMENT OF WORK IN ANY ZONE. 2) ALL WORK AND MATERIALS SHALL COMPLY WITH WASHINGTON CITY STANDARD SPECIFICATIONS 3) PROJECTS SHALL INSTALL AN INFORMATIONAL SIGN ON SITE BEFORE CONSTRUCTION BEGINS THIS SIGN WILL HAVE A MINIMUM SIZE, PLACEMENT LOCATION AND CONTENT INFORMATION WITH THE COMPANY NAME, PHONE CONTACT AND GRADING PERMIT NUMBER.

4) PROJECTS SHALL SUBMIT A DUST CONTROL PLAN WITH DETAILS ON EQUIPMENT, SCHEDULING AND REPORTING OF DUST CONTROL ACTIVITIES. 5) A MANDATORY PRE-CONSTRUCTION MEETING WILL BE REQUIRED ON ALL PROJECTS PRIOR TO

ANY GRUBBING, GRADING OR CONSTRUCTION ACTIVITIES. THE PERMIT HOLDER WILL BE REQUIRED TO NOTIFY ALL DEVELOPMENT SERVICE INSPECTORS. 6) FOLLOW APPENDIX 'J' STANDARDS FOUND IN THE IBC.

7) ALL OBJECTS SHALL BE KEPT OUT OF THE SIGHT DISTANCE CORRIDORS THAT MAY OBSTRUCT THE DRIVER'S VIEW.

DUST CONTROL

AREAS.

THESE DUST CONTROL MEASURES MUST BE OBSERVED AT ALL TIMES

EARTH MOVING ACTIVITIES: 1) APPLY WATER BY MEANS OF TRUCKS, HOSES AND/OR SPRINKLERS AT SUFFICIENT FREQUENCY AND

QUANTITY, PRIOR TO CONDUCTING, DURING AND AFTER EARTHMOVING ACTIVITIES. 2) PRE-APPLY WATER TO THE DEPTH OF THE PROPOSED CUTS OR EQUIPMENT PENETRATION 3) APPLY WATER AS NECESSARY AND PRIOR TO EXPECTED WIND EVENTS. 4) OPERATE HAUL VEHICLES APPROPRIATELY IN ORDER TO MINIMIZE FUGITIVE DUST AND APPLY WATER AS

NECESSARY DURING LOADING OPERATIONS. DISTURBED SURFACE AREAS OR INACTIVE CONSTRUCTION SITES: 1) WHEN ACTIVE CONSTRUCTION OPERATIONS HAVE CEASED, APPLY WATER AT SUFFICIENT FREQUENCY AND QUANTITY TO DEVELOP A SURFACE CRUST AND PRIOR TO EXPECTED WIND EVENTS. 2) INSTALL FENCE BARRIER AND/OR "NO TRESPASSING" SIGNS TO PREVENT ACCESS TO DISTURBED SURFACE

GREENS RETAIL DEVELOPMENT

A COMMERCIAL DEVELOPMENT **CONSTRUCTION DRAWINGS** _OCATED IN WASHINGTON, UTAH

SECTION 15, T 42 S, R 15 W, SLB&M

HEET NO.	GRADING PLANS
CI.I	COVER SHEET
C2.I	DEMOLITION PLAN
C3.I	SITE PLAN
C4.I	GRADING AND DRAINAGE PLAN
C4.2	GRADING AND DRAINAGE DETAILS
C5.I	ADA PATH OF TRAVEL
C6.I	FIRE PROTECTION PLAN
C7.I	DETAILS

OWNER / DEVELOPER **GREENS UTAH ENTERPRISES INC** 9289 RESEARCH DRIVE **IRVINE, CALIFORNIA 92618** ATMAN KADAKIA 949-829-4900



BUSH & GUDGELL, INC. **Engineers - Planners - Surveyors**

205 East Tabernacle #4 St. George, Utah 84770 Phone (435) 673-2337

















GRADING DETAIL 2





LEGEND

____________EXISTING 2' CONTOUR------EXISTING 10' CONTOUR______PROPOSED 2' CONTOUR______PROPOSED 10' CONTOUR



GRAPHIC SCALE (IN FEET) 1 inch = 10 ft.

ADA PATH OF TRAVEL GREENS RETAIL DEVELOPMENT



LEGEND



— — — EXISTING 1' CONTOUR ----- EXISTING 5' CONTOUR ------ PROPOSED 2' CONTOUR ------ PROPOSED 10' CONTOUR

NOTES:

- 1. REQUIRED FIRE FLOW 1500 GPM WITH 20 PSI RESIDUAL PRESSURE. 2. FIRE DEPARTMENT ACCESS TO MEET REQUIREMENTS OF
- CHAPTER 5 AND APPENDIX D OF IFC 2012.
- 3. HIGH PILED COMBUSTIBLES OR EXCEEDING MAXIMUM ALLOWABLE QUANTITIES WILL REQUIRE SPRINKLER SYSTEM.

IBC CODE ANALYSIS (ABBREVIATED FOR FIRE. FOR FULL ANALYSIS, SEE ARCHITECTURAL PLANS)

BUILDING HEIGHT

35'

TOTAL SQUARE FOOTAGE

9127 SQ FT

V

B / M

SQUARE FOOTAGE PER FLOOR 9127 SQ FT

CONSTRUCTION TYPE

OCCUPANCY USE GROUP

OCCUPANT LOAD

UNIT 1: B - 49 UNIT 2: M - 30

UNIT 3: M - 36 NOTE: 1-HOUR FIRE WALL BETWEEN UNITS 1 AND 2

GRAPHIC SCALE

(IN FEET)1 inch = 10 ft.

FIRE PROTECTION PLAN

GREENS RETAIL

DEVELOPMENT

STORAGE FIRE PROTECTION FEATURES EMERGENCY LIGHTING

SEE NOTE 3 ABOVE

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DETAILS GREENS RETAIL DEVELOPMENT





RED CLIFFS CORNER PLAZA Washington, Utah Project 1603.696

PLANT LIST KEY BOTANICAL NAME SIZE COMMON NAME TREES: T1 Acacia Sweet Acacia 24″ box Ash Tree T2 Fraxinus greggi 24″ Box Fruitless Mulberry Tree Τ3 Morus alba 24″box Phoenix dactylifera Date Palm T4 Mondell Pine T5 Pinus elderica 24″ Box Live Oak T6 Quercus Virginiana 24″ Box 17 African Sumac Rhus lancia 24″ Box PALMS: Phoenix dactylifera Date Palm P1 Ht. shown Trachycarpus fortunei P1 Wind Mill Palm Ht. indicated P2 Washington filifera Mexican Fan Palm Ht. indicated ACCENT TREES: Albizia julibrissin Silk Tree A1 24″ Box Chilopsis linearis 24″ Box Desert Willow A2 24″ Box Pink Dawn chitalpa tree A3 Chitalpa tashkentensis 24″ Box A4 Lagerstroemia indica Crape Myrtle 24″ Box A5 Japanese Privet Ligustrum japonicum Photinia 'fraseri' 24″ Box A6 Photinia Purple leaf plum A7 24″ Box Prunus cerasifera Flowering Cherry 24″ Box A8 Prunus serrulata Evergreen Pear Purple Robe Locust Pyrus calleryana A9 24″ Box Robinia ambigua 'Purple Robe' A10 24″ Box CACTI AND ACCENT PLANT 5 Gal 5 Gal 15 Gal Dasylirion spp. C1 Desert Spoon Barrel Cactus C2 Ferocacus spp. C3 Occotillo Fouqueria splenden Hesperaloe spp. C4 Hesperaloe 5 Gal LARGE SHRUBS (6' Dia.) Caesalpinia gilliesii Mexican Bird of Paradise 15 Gal Fouquieria splendens S2 Ocotillo 15 Gal Lagerstroemia indica S3 Crape myrtle – shrub form 15 Gal Pennisetum setaceum S4 Deer Crass 15 Gal Ruellia peninsularis S5 Baja Ruellia 15 Gal MEDIUM SHRUBS (4' Dia.) Baccharis spp. S6 Desert Broom 5 Gal Cotoneaster Glaucophyllus S7 Gray Cotoneaster 5 Gal Ferocactus species S8 Barrel cactus 5 Gal S9 Ilex 'Dwarf Youpan' Dwarf Youpan Holley 5 Gal S10 Nandina domestica Heavenly Bamboo 5 Gal Nerium oleander 'Dwarf' S11 Dwarf Red Oleander 5 Gal 5 Gal Rhaphiolepis indica S12 Pink Lady Rhaphiolepis Rosmarinus spp. S13 Rosemary 5 Gal Salvia greggii S14 Red Autumn Sage 5 Gal S15 Yucca 'Red' Red Yucca 5 Gal SMALL SHRUBS & COLOR ACCENTS (2' Dia. Or less) Agapanthus africanus SS1 Dwarf lily of the Nile 1 Gal SS2 Baccharis species Baccharis 1 Gal SS3 Chrysothamnus nauseosus Rabbit Brush 1 Gal SS4 Dalea species Dalea 1 Gal SS5 Dasylirion wheeleri Desert Spoon 1 Gal Desloperma varieties SS6 Ice Plant 1 Gal Dietes bicolor SS7 Fortnight lily 1 Gal Rhaphiolepis 'Ballerina' SS8 Rhaphiolepis 1 Gal 1 Gal 1 Gal Rosmarinus off. 'Prostratus' SS9 Prostrate Rosemary Santolina varieties SS10 Grey/Green Santolina SS11 Verbena peruviana Peruvian Verbena 1 Gal

MASTER LANDSCAPE PLAN

SCALE: 3/32"=1'-0"





RED CLIFFS CORNER PLAZA Washington, Utah Project 1603.696

IRRIGATION LEGEND



MASTER IRRIGATION PLAN









NOTES: 11 COMPACT SOIL TO 90% RELATIVE COMPACTION. 2) ALL COMPONENTS FOR THE SWING JOINT SHALL BE P.V.C. SCHEDULE PO OR MARLEX 90° (STREET) ELBOWS ON LATERAL SWING ASSEMBLIES. 3) NO ABOVE GROUND SPRINKLER HEADS SHALL BE PLACED AT CURBSIDE OR OTHER AREAS OF PREDICTABLE PEDESTRIAN OR VEHICLE TRAFFIC.

BACK OF WALK OR

BACK OF CURB



l-gal. 3 Can Plants P

Agriform[®]20-10-5 Planting Tablets.



Easy to use.

These compact easy-to-use fertilizer tablets eliminate the need When feeding established trees, shrubs, roses, and large perena safe, non-burning complete plant food which lasts up to 2 years. The Planting Tablets fill the continuing needs of all plants for a full range of major nutrients.

Special advantages.

Agriform Planting Tablets can be used by untrained personnel. The simplicity of pre-measured tablets reduce training and supervisory time. The actual count and depth of tablet placement can be easily verified by inspection-weeks or months after application.

Environmental advantages.

Agriform Planting Tablets feed for a full two years, reducing labor and materials required for reapplications. There is no surface residue or surplus to wash away. And the leach resistance properties protect underground water from pollution.

New landscaping plantings.

When transplanting container, bare root or b&b stock, the Tablets are placed in the root zone, 6 to 8 inches below the surface of the soil. Place the plant in the planting hole and back fill soil no higher than halfway up the root ball. Space the tablets evenly around the root ball, 2 inches from root tips. Tablets may be used at any season of the year. Late applications will not force lush, frost-tender growth to form.

Application rates.

	21-Gra	m Tablet		10-Gram	5-Gram		
gal. Can ants	5-gal, Can Plants	7-gal. Can Plants	Plants in Large Tubs or Boxes	Well- Rooted Liners	Small Ground- cover Plants or Perennials		
to 2 blets	2 to 3 Tablets	3 to 5 Tablets	Use Rates for Established Plantings	l to 2 Tablets	l Tablet		

Established Plantings.

for measuring small quantities of dry fertilizer. They provide nials, insert 21-gram tablets around the dripline. Use I tablet for each 1/2 inch of tree trunk diameter or for each 1 foot of height or spread of shrubs, roses or large perennials. Sink tablets 6 to 8 inches deep.

Specifications.

DESCRIPTION: Planting tablets shall be tightly compressed ong-lasting, slow-release fertilizer tablets weighing between 5, 10 or 21 grams, with a potential acidity of not more than 5 percent by weight and having an analysis of 20-10-5 derived from the sources listed in the following guaranteed analysis: NOTE: In order to achieve best results, the recommenda-

1600

tions below should be written into plans and specifications and followed closely by the landscape contractor: Bare root, b & b, or container stock: Position the plant in

the hole and backfill no higher than halfway up the root ball. Place the recommended number of tablets evenly around the perimeter of, and immediately adjacent to, the root ball at a depth which is between the middle and the bottom of the root ball. Complete the backfilling, tamp and water.

Small groundcover plants: Position the plant in the hole, then backfill halfway, and no more. Place the tablet immediately adjacent to the root ball and at a depth that s between the middle and the bottom of the root ball. Complete backfilling, firm the soil, and water.

GUARANTEED ANALYSIS	
TOTAL NITROGEN (N)	
Derived from urea-formaldehyde.	1
7.0% Water Soluble Nitrogen	1
13.0% Water Insoluble Nitrogen	
AVAILABLE PHOSPHORIC ACID (P2Os)	1 1
Derived from calcium phosphate.	1
SOLUBLE POTASH (K2O)	1
Derived from potassium sulfate	
Combined Calcium (Ca)	1
Derived from calcium phosphates	
Combined Sulfur (S)	1.000
Derived from ferrous and potassium sulfates	10
Iron lexpressed as elemental Fel	1.
Derived from ferrous sulfate	
Potential Acidity 5% or 100 the Calaine Catana F 1 1	
Per Ton	

GRO-POWER

Humus Base Fertilizer and Soil Conditioner

GRO-POWER is a humus base fertilizer and soil conditioner which has been refined and activated by the addition of various bacterial "stimulators", which act to condition the soil and feed the plant. GRO-POWER is a formulation of the best of the organic fertilizing principles. GRO-POWER is fastacting, long-lasting and supplies the organic matter that is absent from most soils. Humus, humic acids and bacteria have been blended to produce a fertilizer that far surpasses any fertilizer on the market.

The humus in GRO-POWER consists of higher plant life and woody material which has been composted beyond the fiber stage by bacterial activity. Humus increases the soil's moisture-holding capacity, acts as a storehouse for the plant nutrients and, when added to the soil, increases its granular structure. Humus acts as a buffering agent against strong chemicals, shielding the young plants from excessive fertilizing. Soil without humus becomes unproductive and useless.

PROVISIONAL SPECIFICATION FOR SOIL AMENDMENTS

PREPARING SOIL FOR TURF AND GROUND COVER: Broadcast 150 to 200 lbs. of GRO-POWER/GRO-POWER PLUS per 1000 sq. ft. and rototill to 4 to 6 inches. GRO-POWER eliminates the need for all other organic matter. If the soil report indicates the necessity for additional soil amendments, broadcast and rototill in along with the GRO-POWER. Additional fertilizer is normally not needed. Water thoroughly and prepare soil for seed or turf. 45 to 60 days after grass is up, broadcast 25 lbs. of GRO-POWER per 1000 sq. ft. or use Gro-Power Hi-Nitrogen at 7% lbs. per 1000 sq. ft and water thoroughly. To maintain a lawn in top condition, usually 3 to 4 applications of GRO-POWER and/or Gro-Power Hi-Nitrogen is sufficient.

PLANTING MIX:

Add 15 to 20 lbs. of Gro-Power/Gro-Power Plus to each cubic yard of planting mix.

ANTING SHRUBS AN	D TREES:
1 Gallon Plants:	1 tablespoon of GRO-POWER in hole and 2 tablespoons on backfill in 1 foot circle.
5 Gallon Plants:	2 tablespoons of GRO-POWER in hole and 3 tablespoon on backfill in 1½ foot circle.
15 Gallon Plants:	4 tablespoons of GRO-POWER in hole and 5 tablespoon on backfill in 2 foot circle

III In 2 loot circle ½ cup of GRO-POWER in hole and ½ cup on backfill in 24" to 25" Box: 3 to 4 foot circle.

IMPORTANT NOTE:

DO NOT apply GRO-POWER on top of another fertilizer. Gro-Power Hi-Nitrogen should not be used in soil preparation.

GRO-POWER is a humus base fertilizer and soil conditioner and is the finest fertilizer on the market. The humus and humic acids and bacterial "Activators" in GRO-POWER aid in unlocking the nutrients held in the soil and makes them available for the plants' use. GRO-POWER conditions the soil and feeds the plant. Try GRO-POWER TODAY!

Sole Manufacturer



To be used until the completion of a soils test.

PLANTING NOTES

- 1. PROTECT PLANT MATERIAL from damage to root balls, trunk and foliage during delivery, handling and storage.
- 2. CONTROL WEEDS by cleaning and removing weeds at the beginning of work. Maintain site weed-free throughout the construction process.
- 3. LAYOUT PLANTING AREAS so that:

TREES are not planted closer than 4 feet from the edge of Turf areas and 2 feet from underground utilities. TREES do not grow up under eaves or other structures

SHRUBS do not block spray irrigation nozzles. SHRUBS do not block drainage swales.

GROUNDCOVERS are held back 18 inches from Main stems of shrubs.

GROUNDCOVERS to be triangularly spaced. GROUNDCOVER areas are separated from Turf areas by a headerboard.

- 4. CLEAN DEBRIS FROM THE SOIL so that the top two inches (2") of all areas to be planted are free of all deleterious matter one inch (1") in diameter, such as stones, clods, stumps, and are free from all wire, plaster or similar objects that would be a hindrance to planting.
- . PREPARE THE SOIL by cross ripping to a depth of 10-12 inches, applying amendments such as Gro-Power or Comp-Gro, rototilling a minimum of two directions to a depth of 4-6 inches. Overhead irrigate so that a minimum of 4-6 inches of good quality water passes through the soil profile.
- 6. BACKFILL PLANTING EXCAVATIONS with amended surface soils. Only <u>un</u> amended soil should be placed beneath the plant root ball. If additional quantities of backfill mix are required blend bulk mix in proportions of Gro-Power. After back filling, an earthen basin derived from amended materials and of sufficient depth to hold at least two inches (2") of water should be formed around each plant. Excess soil generated from the planting holes and not used as backfill or in establishing the final grades shall be removed from the site.
- 7. FERTILIZE each plant excavation by placing tablets or granules according to the suppliers recommendations.
- 8. EVENLY SPREAD AND DRESS WITH MULCH all shrub and groundcover areas with at least a two inch (2") layer of a fibrous, woody bark mixture of varied particle size.
- 9. PLANT AND STAKE trees, shrubs and groundcover as follows:

Center plant in pit or trench. Face plants with fullest growth into prevailing wind. Set plant plumb and hold rigidly in position until soil has been tamped firmly around ball or roots. All excavated holes shall have vertical sides with roughened surfaces and shall be of a size that is twice the diameter and one-half times the depth of the root ball for all trees and shrubs.

Groundcover shall be planted in all planting areas not indicated as turf. Groundcover key indications are shown in legend.

Pruning shall be limited to minimum necessary to remove injured twigs and branches, and to shape the plant material.

NOTES:

- 1. Locate and flag all utility lines prior to trenching.
- 2. Install main line and valves within planting areas.
- 3. Minimum cover (Main 18"; Laterals 10").
- 4. All unsized lines with only one spray head to be 1/2" in size.
- Coordinate irrigation installation with work of other trades. 5.
- Set controller stations for repeated short cycles to control run off. 6.
- Use common trench as much as possible for main, laterals, and 14"-1 UF control.
- 8. Flush lines then install and adjust all heads for proper coverage.
- 9. System to be installed per all governing codes.









STRUCTURAL NOTES (UNLESS NOTED OTHERWISE)

SCOPE:

THIS SPECIFICATION OUTLINES THE STRUCTURAL DESIGN CRITERIA FOR RED CLIFFS PLAZA, 880 RED CLIFFS DRIVE, WASHINGTON, UTAH. WHEN A DIFFERENCE OCCURS BETWEEN THIS SPECIFICATION AND OTHER APPLICABLE CODE, THE MORE STRINGENT SHALL CONTROL. ANY OTHER ITEMS NOT COVERED HEREIN SHALL BE COMMENSURATE WITH GOOD ENGINEERING PRACTICE.

THE OWNER IS HEREBY CAUTIONED OF THE EXTREME IMPORTANCE OF PROPER DRAINAGE AWAY FROM THE FOUNDATION. POOR DRAINAGE AND / OR PONDING OF WATER NEAR THE FOUNDATION WALL IS THE SINGLE MOST COMMON CAUSE OF FOUNDATION DAMAGE.

APPLICABLE CODES AND STANDARDS:

2012 INTERNATIONAL BUILDING CODE

BUILDING CODE FOR CITY OF WASHINGTON, UTAH

AISC "MANUAL OF STEEL CONSTRUCTION". ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"

"NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", BY AMERICAN FOREST AND PAPER ASSOCIATION.

DESIGN LOADS:

DEAD LOAD = WEIGHT OF STRUCTURE AND ALL PERMANENTLY ATTACHED ITEMS. LIVE LOADS: WIND LOAD = 115 MPH (Vult), EXP. C SNOW LOAD = 20 PSF

OCCUPANCY CATEGORY SEISMIC USE GROUP SEISMIC IMPORTANCE FACTOR 1.0 Ss 0.538 S1 0.163 SITE CLASS D Sds 0.491

Sd1 0.234 SEISMIC DESIGN CATEGORY = D

BASIC SEISMIC FORCE RESISTING SYSTEM BUILDING FRAME SYSTEM LIGHT FRAMED PLYWOOD SHEAR WALL

DESIGN BASE SHEAR 18.8k SEISMIC RESPONSE COEFFICIENT Cs = 0.07RESPONSE MODIFICATION FACTOR R=6.5 ANALYSIS PROCEDURE USED - SIMPLIFIED ANALYSIS PROCEDURE.

FOUNDATION:

THIS FOUNDATION DESIGN IS IN COMPLIANCE WITH SOILS TEST NUMBER 2160930 BY AGEC APPLIED GEOTECH., DATED JULY 8, 2016. FOR COMPLETE FOUNDATION RECOMMENDATIONS, DAMPPROOFING, AND SUBSURFACE DRAINAGE REQUIREMENTS SEE SOILS REPORT.

BACKFILL TO BE BALANCED ON ALTERNATE SIDES OF FOUNDATION AS MUCH AS POSSIBLE. COMPACT BACKFILL IN ACCORDANCE WITH GEOTECHNICAL REPORT. FINAL GRADE SHOULD SLOPE AWAY FROM FOUNDATION A MINIMUM OF 6" IN THE FIRST 5'. FINAL GRADING SHALL PROVIDE POSITIVE DRAINAGE (1/4" PER FOOT MINIMUM) TO MUNICIPAL SEWER RECEPTACLE OR APPROVED DRAINAGE CONFIGURATION.

SPREAD FOOTINGS: THIS FOUNDATION DESIGN IS BASED ON AN ALLOWABLE SOIL BEARING PRESSURE OF 2,000 POUNDS PER SQUARE FOOT FOR CONTINUOUS FOOTINGS AND 2,500 POUNDS PER SQUARE FOOT FOR ISOLATED PADS.

FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL. ALL FOOTINGS TO BE PLACED BELOW FROST DEPTH. REMOVE ALL SOFT POCKETS FROM UNDER FOOTINGS. FILL NOT ALLOWED. ALL FOOTINGS TO BE CENTERED UNDER WALLS UNLESS NOTED OTHERWISE.

THE SOILS ENGINEER OF RECORD PRIOR TO CONCRETE PLACEMENT SHALL INSPECT ALL BEARING MATERIAL. THE SOILS ENGINEER OF RECORD SHALL BE THE SOLE JUDGE AS TO THE SUITABILITY OF THE BEARING MATERIAL.

MATERIALS:

CONCRETE:

ALL WORK SHALL CONFORM TO ACI 301. ALL STRUCTURAL CONCRETE TO BE FROM TYPE V PORTLAND CEMENT, STONE AGGREGATE, AND DEVELOP 3000 PSI MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS. SLAB ON GRADE SHALL DEVELOP 3000PSI MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS. SLUMP OF CONCRETE SHALL NOT EXCEED 4" UNLESS A HIGH RANGE WATER-REDUCING ADMIXTURE IS USED. THE SLUMP OF CONCRETE PRIOR TO ADDITION OF A HIGH RANGE WATER-REDUCING ADMIXTURE SHALL NOT EXCEED 4". THE SLUMP OF CONCRETE CONTAINING A HIGH RANGE WATER-REDUCING ADMIXTURE SHALL NOT EXCEED 10". CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED. AIR CONTENT SHALL BE BETWEEN 5 AND 7 PERCENT.

NO HORIZONTAL CONSTRUCTION JOINTS SHALL BE MADE IN SLABS OR BEAMS.

ALL CONCRETE SLABS ON GRADE TO HAVE CONTROL JOINTS AT LOCATIONS SHOWN ON PLAN. SAW CUTS TO BE 1/3 OF TOTAL SLAB THICKNESS AT APPROXIMATELY 14' x 14'

AND ALL REENTRANT CORNERS SO THAT NO CLEAR LENGTH IS GREATER THAN 18'. FLOAT SURFACES SHALL BE A SMOOTH FINISH. SURFACE SHALL BE FREE OF ALL OBVIOUS DEPRESSIONS. SURFACE SHALL BE LEVEL TO WITHIN +/- 1 DEGREE. SURFACE FLATNESS SHALL BE +/-1/16" PER SQUARE YARD. THE BUILDER AND OWNER ARE HEREBY MADE AWARE OF THE CHANCE OF MOVEMENT AND CRACKING OF SLABS PLACED ON COMPACTED FILL OR NATIVE SOILS. THE RISKS OF SWELLING SOILS AND RESULTING HEAVING/CRACKING OF CONCRETE CAN BE MINIMIZED BUT NOT ELIMINATED WITH CAREFUL CONSTRUCTION AND MAINTENANCE PROCEDURES.

FOUNDATION ANCHOR BOLTS SHALL BE 1/2" DIAMETER x 12" AND SPACED AT 2'-0" O.C. AND 12" FROM EACH SIDE OF A CORNER. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHORS/DOWELS SHALL BE WITH MANUFACTURER'S WRITTEN RECOMMENDED MATERIALS AND PER THEIR DOCUMENTED PROCEDURES. AVOID CUTTING EXISTING REBAR WHEN DRILLING HOLES IN FORMED CONCRETE

PROVIDE A 3/4" CHAMFER AT ALL EXPOSED EDGES OF CONCRETE IN ACCORDANCE WITH ACI 301 SECTION 4.2.4 UNLESS NOTED OTHERWISE. PROVIDE SLEEVES FOR PLUMBING AND ELECTRICAL OPENINGS PRIOR TO PLACING CONCRETE. DO NOT CUT REINFORCEMENT THAT MAY CONFLICT.

REINFORCEMENT:

ALL REINFORCING STEEL SHALL BE ASTM A615, GRADE 60 AND HAVE A MINIMUM OF 60,000 PSI YIELD STRENGTH. ALL HORIZONTAL REINFORCING TO BE CONTINUOUS AROUND ALL CORNERS. PLACE 2 - #5 (ONE EACH FACE) WITH 2'-O" PROJECTION AROUND ALL OPENINGS IN CONCRETE UNLESS OTHERWISE SHOWN OR NOTED. PROVIDE ALL ACCESSORIES NECESSARY TO SUPPORT THE REINFORCEMENT, DOWELS, BOLTS, AND EMBEDDED PLATES AT THE POSITION SHOWN ON THE PLAN PRIOR TO PLACING CONCRETE. LAP SPLICES IN CAST-IN-PLACE CONCRETE SHALL BE A MINIMUM OF 74 BAR DIAMETERS. LAP SPLICES IN REINFORCED MASONRY SHALL BE 48 BAR DIAMETERS. WHERE PERMITTED, SPLICES MAY BE CLASS B CONTACT SPLICES.

REINFORCEMENT TO HAVE THE FOLLOWING COVER: UNFORMED SURFACE IN CONTACT WITH THE EARTH. . . 3 IN. FORMED SURFACES EXPOSED TO EARTH OR WEATHER: #6 BAR OR LARGER..... 2 IN. FORMED SURFACES NOT EXPOSED TO EARTH OR WEATHER:

BEAMS, GIRDERS AND COLUMNS. . . .1 1/2 IN. SLABS AND WALLS. $\ldots \ldots \ldots \ldots \ldots \ldots \ldots 3/4$ IN.

WELDED WIRE FABRIC SHALL BE IN ACCORDANCE WITH ASTM A185. WELDED WIRE FABRIC REINFORCEMENT MUST LAP ONE FULL MESH AT SIDE AND END LAPS, AND SHALL BE TIED TOGETHER. DETAIL REINFORCING STEEL IN ACCORDANCE WITH ACI SP 66. REINFORCEMENT PLACING TOLERANCES PER CURRENT IBC.

GROUT:

GROUT TO BE LOW SHRINK, HIGH STRENGTH DRY PACK.

TIMBER:

UNLESS NOTED OTHERWISE, HEADER MEMBERS SHALL BE (2) 2×10 AS SPECIFIED AND SHALL NOT EXCEED 4'-0" IN LENGTH. HEADER COLUMNS CALLED OUT ON PLAN REFERS TO REQUIRED TRIMMERS. UNLESS NOTED OTHERWISE HEADER MEMBERS SHALL BEAR ON (1) TRIMMER AND HAVE (1) FULL HEIGHT KING STUD. OPENINGS GREATER THAN 4' SHALL BEAR HAVE (2) FULL HEIGHT KING STUDS. OPENINGS GREATER THAN 6' SHALL HAVE (3) FULL HEIGHT KING STUDS.

PROVIDE SOLID BLOCKING IN WALL OR JOIST CAVITY UNDER ALL CONCENTRATED POINT LOADS. ALL COLUMNS NOT LABELED IN PLAN TO BE DOUBLE STUD MEMBERS FASTENED TOGETHER WITH TWO ROWS OF 10d NAILS AT 8" O.C. PROVIDE SOLID BLOCKING AT ALL CANTILEVERS AND BEAM SUPPORTS.

ALL HANGERS REQUIRED SHALL BE SUPPLIED BY AND FURNISHED BY SIMPSON STRONG-TIE. SIMPSON STRONG-TIE CONNECTORS ARE SPECIFICALLY REQUIRED TO MEET THE STRUCTURAL CALCULATIONS OF PLAN. BEFORE SUBSTITUTING ANOTHER HANGER OR BRAND, CONFIRM LOAD CAPACITY BASED ON RELIABLE PUBLISHED TESTING DATA AND SUBMIT REQUESTED CHANGE TO ENGINEER FOR APPROVAL. REQUIRED NAILING SHALL BE PER PUBLISHED SIMPSON REQUIREMENTS. ALL OTHER NAILING SHALL BE PER 2006 IBC TABLE 2304.9.1 WITH COMMON NAILS U.N.O.

ALL ROOF TRUSSES SHALL BE PRE-ENGINEERED FOR 15PSF DEAD LOAD MINIMUM PLUS LIVE LOAD GIVEN ABOVE. DESIGN TRUSSES FOR 13PSF UPLIFT.

TRUSS FABRICATOR SHALL FURNISH DESIGN DRAWINGS BEARING THE SEAL AND REGISTRATION NUMBER OF A STRUCTURAL ENGINEER LICENSED IN THE STATE WHERE TRUSSES ARE TO BE INSTALLED. DESIGN SHALL BE IN ACCORDANCE WITH APPLICABLE PROVISIONS OF LATEST EDITION OF NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION, AMERICAN FOREST AND PAPER ASSOCIATION, NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION, TRUSS PLATE INSTITUTE AND AFOREMENTIONED CODE OF JURISDICTION. TRUSS DESIGNER IS RESPONSIBLE FOR ALL TRUSS CONNECTIONS.

TRUSSES SHALL BE HANDLED DURING FABRICATION, DELIVERY, AND INSTALLATION SO AS NOT TO BE SUBJECTED TO EXCESSIVE BENDING, STRESSES, OR ENVIRONMENTAL CONDITIONS. TRUSSES SHALL BE SET AND SECURED LEVEL, PLUMB, AND IN CORRECT LOCATION. TRUSSES SHALL BE HELD IN CORRECT ALIGNMENT UNTIL PERMANENT BRACING IS INSTALLED. CUTTING AND ALTERING OF TRUSSES IS NOT PERMITTED. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FURNISHING THE MATERIALS USED FOR INSTALLATION INCLUDING BUT NOT LIMITED TO ANCHORAGE, BLOCKING, CURBING, MISCELLANEOUS FRAMING AND BRACING BOTH TEMPORARY AND PERMANENT.

ALL SAWN TIMBER TO BE HEM FIR NO. 2 OR BETTER (UON) (Fb = 850, Fv = 150, Fc = 1300, E = 1,300,000)

ALL LAMINATED VENEER LUMBER (LVL) TO BE MICROLLAM AS MANUFACTURED BY TRUSJOIST MACMILLAN. OR EQUAL (Fb = 2600, Fv = 285, E = 1,900,000). ALL MICROLLAM BEAMS ON PLAN TO BE 1-3/4" WIDTH U.N.O.

ALL PARALLEL STRAND LUMBER (PSL) TO BE PARALLAM AS MANUFACTURED BY TRUSJOIST MACMILLAN. OR EQUAL (Fb = 2900, Fv = 290, E = 2,000,000)

ALL STRUCTURAL GLULAMS USED AS BEAMS OR RAFTERS TO BE DOUG-FIR OR BETTER. (Fb = 2400, Fv = 165, Fc = 650, E = 1,800,000) GLULAMS SHALL BE BALANCED AND CONSIST OF A 24F-V8 COMBINATION.

ALL LAMINATED VENEER LUMBER, AND PARALLEL STRAND LUMBER TO BE MANUFACTURED BY TRUSJOIST MACMILLAN. CONTRACTOR SHALL IDENTIFY, FURNISH, STORE, BRACE, AND INSTALL JOISTS AND MANUFACTURED LUMBER PER TRUSJOIST MACMILLAN SPECIFICATIONS. ALTERNATES MUST BE APPROVED IN WRITING BY ENGINEER AND ARCHITECT.

STRUCTURAL AND MISCELLANEOUS STEEL

STRUCTURAL STEEL SHALL CONFC 1. STEEL PLATES & SHAPES	ORM TO THE FOLLOWING: ASTM A992
2. STEEL ANGLES	ASTM A36
3. STRUCTURAL TUBING	ASTM A500 GR. B
4. STEEL PIPE	ASTM A53 GR B
5. CONNECTION BOLTS	ASTM A325
6. COLUMN ANCHOR BOLTS	ASTM A307
7. OTHER BOLTS	ASTM A307

THE STEEL STRUCTURE IS A NON-SELF-SUPPORTING STEEL FRAME AND IS DEPENDENT UPON DIAPHRAGM AND ITS ATTACHMENT TO THE WALLS AND FRAME FOR STABILITY AND FOR RESISTANCE TO WIND. SEISMIC. AND SERVICE LOADS. TEMPORARY BRACING TO WITHSTAND WIND AND CONSTRUCTION LOADS IS THE RESPONSIBILITY OF THE ERECTOR AND OR CONTRACTOR.

ALL STEEL WORK SHALL BE THOROUGHLY CLEANED OF ALL LOOSE SCALE, RUST, OIL, DIRT, SPATTER, AND OTHER FOREIGN MATTER. STEEL SHALL THEN BE GIVEN ONE SHOP APPLIED COAT OF RED OXIDE PRIMER PAINT.

WELDING:

ALL WELDS SHALL BE CONTINUOUS FILLET WELDS USING AWS D1.1 CLASS E70 ELECTRODES UNLESS NOTED OTHERWISE. ALL WELDERS SHALL BE CERTIFIED BY AWS STANDARDS.

SHOP DRAWINGS:

SHOP DRAWING SHALL BE REVIEWED BY CONTRACTOR TO VERIFY THAT SUBMITTAL IS COMPLETE PRIOR TO SUBMITTING TO ARCHITECT/ENGINEER.

DRAWINGS CREATED BY BRIAN SEYFERTH & ASSOCIATES CANNOT BE REPRODUCED AND/OR USED AS A SHOP DRAWING SUBMITTAL.

SHOP DRAWING SUBMITTALS SHALL INCLUDE THE FOLLOWING: STRUCTURAL STEEL

PRE-ENGINEERED ROOF TRUSSES & CALCULATIONS SHEAR WALL HOLD-DOWNS

MISCELLANEOUS:

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS SHOWN ON THESE DRAWINGS BEFORE BEGINNING CONSTRUCTION. LOCATE EXISTING UTILITIES AND NOTIFY PROJECT ARCHITECT OF UTILITIES OR SUBGRADE CONDITIONS WHICH INTERFERE WITH SCOPE OF WORK. DO NOT SCALE DRAWINGS.

SUBSTITUTION OF STRUCTURAL ELEMENTS MUST BE WITH THE ENGINEER'S APPROVAL. IN THE EVENT THE CONTRACTOR REQUESTS A CHANGE FROM THE STRUCTURAL DRAWINGS, IT SHALL BE FIRST APPROVED BY THE PROJECT ARCHITECT AND DESIGNED BY BRIAN SEYFERTH & ASSOCIATES, INC. NO OPENINGS SHALL BE MADE IN ANY STRUCTURAL MEMBER WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER OF RECORD.

THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION AND HAS BEEN DESIGNED ONLY FOR LOADS ANTICIPATED DURING ITS SERVICE LIFE. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE MEANS OR METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, BRACING AND SHORING FOR CONSTRUCTION LOADS, FORMWORK DESIGN, CONCRETE DESIGN MIX, WORKER SAFETY REQUIREMENTS, AND PROTECTION OF ON SITE ITEMS FROM WEATHER CONDITIONS AND ENVIRONMENTAL FACTORS. OBSERVATION VISITS TO THE SITE BY THE STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.

STRUCTURAL DRAWINGS ARE INTENDED TO BE USED WITH ARCHITECTURAL, MECHANICAL, AND OTHER DISCIPLINE'S DRAWINGS FOR ADDITIONAL INFORMATION RELATING TO THE STRUCTURE. CONTRACTOR IS RESPONSIBLE FOR COORDINATING SUCH REQUIREMENTS INTO THEIR SHOP DRAWINGS AND WORK.

DEFERRED SUBMITTALS

THE DESIGN OF THE FOLLOWING BUILDING COMPONENTS SHALL BE TREATED AS DEFERRED SUBMITTALS. ALL ASSOCIATED DRAWINGS AND CALCULATIONS SHALL BE STAMPED AND SIGNED BY THE ENGINEER RESPONSIBLE FOR THEIR PREPARATION. AFTER REVIEW, THE ENGINEER-OF-RECORD SHALL FORWARD THE DEFERRED SUBMITTAL DOCUMENTS TO THE BUILDING DEPARTMENT. DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL:

1. PRE-FABRICATED WOOD ROOF TRUSSES.

ALL WELDS SHALL CONFORM TO AWS CODE FOR PROCEDURES, APPEARANCE AND QUALITY OF WELDS.

COLUMN/BASEPLATE SCHEDULE										
DESIGNATION	TAG	SIZE	BEARING PLATE	BASEPLATE	BOTTOM OF BASEPLATE ELEVATION	BASEPLATE SECTION	TOP OF CONCRETE ELEVATION	FOOTING "W" X "L"	FOOTING DEPTH	REINFORCEMENT
F-5	C-1	HSS5x5x1/4	1x7 1/2x0'-8 1/4"	1x5 1/2x0'-11"	100'-1 1/2"	6/S100	100'-0"	4'-0'x4'-0''	8"	4 #6 E.W.
D-5	C-2	HSS5x5x3/8	1x7 1/2x0'-11"	1x11x0'-11"	99'-5 1/2"	7/S100	99'-4"	6'-0"x6'-0"	16"	6 #6 E.W.
B-5	C-3	HSS5x5x5/16	1x8x0'-11"	1x11x0'-11"	99'-5 1/2"	7/S100	99'-4"	5'-0"x5'-0"	16"	5 #6 E.W.
A.5-5	C-4	HSS6x5x3/8	1x8x0'-11"	1x12x1'-0"	99'-5 1/2"	8/S100	99'-4"	6'-6"x6'-6"	16"	6 #6 E.W.
A-5	C-5	HSS5x5x1/4	1x8 1/4x0'-10 1/2"	1x5 1/2x0'-11"	100'-1 1/2"	6/S100	100'-0"	4'-6"x4'-6"	8"	5 #6 E.W.
A-5.5	C-6	HSS5x5x1/4	3/4x6 1/2x0'-8 1/4"	3/4x5 1/2x0'-11"	100'-1 1/2"	9/S100	100'-0"	1'-6"x4'-0"	8"	3 #6 L.W.
A.5-6	C-7	HSS5x5x1/4	3/4x7x0'-8 1/4"	3/4x5 1/2x0'-11"	100'-1 1/2"	9/S100	100'-0"	1'-6"x4'-0"	8"	3 #6 L.W.
E-3	C-8	HSS4x4x1/4	3/4x6x0'-7 1/2"	3/4x5 1/2x0'-10"	100'-1 1/2"	10/S100	100'-0"	-	-	-









CONCRETE REINFORCEMENT SPLICE LENGTH (CLASS B PER ACI 318-05)														
BAR	f'c	3,000 ps	si	f'c	4,000	osi	f'c	5,000	psi					
SIZE	TOP BARS	OTHER BARS	ldh	TOP BARS	OTHER BARS	ldh	TOP BARS	OTHER BARS	ldh					
#4	38	29	11	33	25	10	29	23	9					
# 5	47	36	14	41	31	12	36	28	11					
#6	56	43	17	49	37	15	44	34	13					
#7	81	63	20	71	54	17	63	49	15					
#8	93	72	22	81	62	19	72	56	17					

) TABLE IS FOR NON-EPOXY COATED REBAR WITH Fy=60ksi IN NORMAL WEIGHT CONCRETE DEVELOPMENT LENGTH (Id) = LAP SPLICE LENGTH DIVIDED BY 1.3
 DOP BARS ARE TO BE PLACED SO THAT MORE THAN 12" OF FRESH CONCRETE IS CAST IN THE MEMBER BELOW THE DEVELOPMENT LENGTH OR SPLICE 4) CLEAR SPACING OF BARS BEING DEVELOPED OR SPLICED NOT LESS THAN db, CLEAR COVER NOT LESS THAN db. AND STIRRUPS OR TIES THROUGHOUT ID NOT LESS THAN TH CODE MINIMUM -OR- CLEAR SPACING OF BARS BEING DEVELOPED OR SPLICED NOT LESS

THAN 2db AND CLEAR COVER NOT LESS THAN db.







SCALE: $1 \ 1/2'' = 1'-0$

— (4) - ¾" A325











__(2) - ¾" A325

SEE PLAN FOR SIZE

- SEE SCHEDULE

- SEE PLAN FOR SIZE







SCALE: 1'' = 1' - 0''



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SHEET:

P:\16025 - Greens Utah Shell\Drawings\Revit\16024 Washington UT Retail SBUX A15.rvt

S100

TIME STAMP: 6/17/2016 9:18:48 AM



LAG	SCREW DRILLING
DIA.	CLEARANCE HOL
<u>3</u> " 8	3" 8
½"	<i>¥</i> 2"
5⁄8"	5⁄8"
3⁄4"	3⁄4"

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TIME STAMP: 6/17/2016 9:18:48 AM

08/03/16 8:50am, CC (sf=1) N:\2016 PROJECTS\16241 - Washington Utah Retail Building\16241-S600.dwg

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DRAWINGS FOR ADDITIONAL INFORMATION

FLOOR PLAN GENERAL NOTES:

- DIMENSIONS ARE TO FACE OF STUD, CONCRETE, OR CMU UNO.
 ALL DOORS TO BE LOCATED 4" FROM ADJACENT PARTITION WHERE DOOR IS INDICATED ADJACENT TO PARTITION UNO; PROVIDE LOW PROFILE BRUSHED STAINLESS DOME DOOR STOP (BALDWIN 4000.150 OR SIM)
- REFER TO A10.1 FOR PARTITION TYPES AND ADDITIONAL INFORMATION.
 SEE REFERENCED ENLARGED PLANS, FOR FURTHER DETAILS AND LAYOUT.
- SEE REFERENCED ENLARGED PLANS, FOR FURTHER DETAILS AND LAYOU
 REFER TO A8.1 FOR DOOR AND WINDOW SCHEDULE AND ELEVATIONS.
- REFER TO ELEVATIONS FOR ADDITIONAL WINDOWS/WALL OPENING INFORMATION.
 OPENINGS FOR DOORS, WINDOWS, LOUVERS, ETC MUST BE VERIFIED WITH MFR ROUGH OPENING REQUIREMENTS. ARCHITECTURAL DIMENSION PLANS ARE INTENDED TO LOCATE FEATURES OF THE BUILDING AND ARE NOT INTENDED TO BE USED AS CONSTRUCTION COORDINATION DRAWINGS.

KEYNOTE LEGEND									
Key Value	Keynote Text								
P1	ROOF LADDER								
P2	RECESS SLAB 1/2" FOR TENANT WALK OFF MAT; CENTER ON DOOR OPENING								
P3	BACKFLOW PREVENTOR; ENCLOSE IN 2'-0" X 4'-0" CLEAR UTILITY CLOSET WITH 3'-0" X 7'-0" HM DOOR CENTERED ON WALL								
R2	OPEN FRAMED AWNING; TIE TO STRUCTURE								

APPROVED BY: RD DATE: 7/15/2016 Original drawing is 24" x 36" | Scale entities accordingly if reduced

SHEET TITLE: FLOOR PLAN

A2.1

SHEET:

P:\16025 - Greens Utah Shell\Drawings\Revit\16024_Red Cliffs Plaza Core Shell_A15.rvt TIME STAMP: 8/21/2016 2:39:36 PM

	Wall Type Schedule - 'W'										
Type Mark	Type Comments										
101	BERRIDGE HS-8 METAL PANEL SYSTEM ON BUILDING WRAP ON 1/2" SHEATHING ON SHEATHING RE: STRUCT. ON 6" WOOD STUDS WITH R-21 INSULATION; VAPOR BARRIER ON WARM SIDE WITH GYP. BD.; COORDINATE GYP. BD WITH TENANT REQUIREMENTS										
102	1 5/8" CMU ADHERED VENEER ON METAL LATHE ON 2 LAYERS #15 BUILDING FELT ON SHEATHING; RE: STRUCT. ON 6" WOOD STUDS WITH R-21 CAVITY INSULATION; VAPOR BARRIER ON WARM SIDE WITH GYP. BD.; COORDINATE GYP. BD WITH TENANT REQUIREMENTS										
103	3 COAT STUCCO SYSTEM ON METAL LATHE ON 2 LAYERS #15 BUILDING FELT ON SHEATHING PER STRUCT. ON 6" WOOD STUDS WITH R-21 CAVITY INSULATION; VAPOR BARRIER ON WARM SIDE WITH GYP. BD.; COORDINATE GYP. BD WITH TENANT REQUIREMENTS										
01	1 LAYER TYPE X GYP. BD ON EACH SIDE OF 3 5/8" METAL STUDS WITH R-19 INSULATION TO STRUCTURE; DEMISE WALL; COORDINATE GYP. BD WITH TENANT REQUIREMENTS										
101	STOREFRONT SYSTEM WITH DOUBLE PANE, LOW-E, UN-TINTED, GLASS										

GLASS S102 STOREFRONT SYSTEM WITH DOUBLE PANE, LOW-E, UN-TINTED, GLASS

R4

R6

ROOF PLAN GENERAL NOTES:

 VERIFY ALL ROOF SLOPES, TOP OF STEEL HEIGHTS, AND STRUCTURAL CONDITIONS WITH STRUCTURAL DRAWINGS. NOTIFY ARCHITECT/ENGINEER OF RECORD OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
 ROOF ELEVATION INDICATED ON ARCHITECTURAL DRAWINGS ARE FOR REFERENCE ONLY

AS THE THICKNESS/R-VALUE OF ROOF AND HEIGHT OF STRUCTURE AS SPECIFIED WILL DEFINE THE ACTUAL ROOF ELEVATIONS.
3. NOT ALL ROOF PENETRATIONS ARE INDICATED ON THE ARCHITECTURAL ROOF PLAN. VERIFY ALL ROOF PENETRATIONS WITH MECHANICAL, ELECTRICAL, AND PLUMBING

DRAWINGS AS REQUIRED.
ROOF PENETRATIONS SHALL BE FLASHED AND/OR UTILIZE MANUFACTURED "BOOTS" AS

 KOOF PENETRATIONS STALL BE FLASHED AND/OK UTILIZE MANOFACTORED BOOTS AS TO PROVIDE WEATHER TIGHT SEAL.
 SELECTED DETAILS HAVE BEEN CALLED OUT ON ROOF PLANS FOR CLARITY. THE ROOF DETAILS, WALL SECTIONS, PROJECT SPECIFICATIONS, AND MFR / WARRANTY REQ SHALL DEFINE THE FULL EXTENT OF ROOF DESIGN.
 MINIMUM SLOPE IS 1/4" PER 12"

KEYNOTE LEGEND Je Keynote Text COLLECTOR HEAD WITH INTEGRAL OVERFLOW AND DOWNSPOUT TO SPLASH BLOCK OPEN FRAMED AWNING; TIE TO STRUCTURE STANDING SEAM METAL ROOF; OVERHANG 1'-0" ALL SIDES WHITE TPO ROOFING SYSTEM DOWNSPOUT TO SPLASH BLOCK

PROFESSIONAL SEAL:

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	EXTERIOR FINISH SCHEDULE - 'Q'													
MATERIAL ID	DESCRIPTION	FINISH/STYLE	COMMENTS											
CMU-1	BASALITE 807-R	STANDARD SIZE; 3/8 IN JOINT; COMB FINISH	1/3 OFFSET BOND; GROUT TO MATCH SGS-60A											
CR-1	PRE-CAST CONCRETE SILL	LIGHT GREY CONCRETE; TROWEL FINISH												
GL-1	DOUBLE PANE WITH LOW-E, CLEAR GLAZING	CLEAR DOUBLE PANE LOW-E, SAFETY GLAZING TO COMPLY WITH IBC SECTION 2406												
GL-2	DOUBLE PANE WITH LOW-E, CLEAR GLAZING, TEMPERED	SPANDREL, SAFETY GLAZING TO COMPLY WITH IBC SECTION 2406												
MR-1	STANDING SEAM METAL ROOF	BERRIDGE HIGH SEAM TEE-PANEL; COLOR TO MATCH SHASTA WHITE												
MT-5	METAL / ALUMINUM STOREFRONT	DARK BRONZE												
MT-13	METAL FASCIA PANEL	COLOR TO MATCH SHASTA WHITE												
MT-28	METAL	FNIISH TO MATCH BLACK FOX - SW7020												
SD-1	BERRIDGE HS-8	CHARCOAL GREY												
ST-1	ELREY STUCCO	FINISH TO MATCH PAREX PLATEAU; FINE SAND FINISH												
ST-2	ELREY STUCCO	FINISH TO MATCH PAREX BASALT; FINE SAND FINISH												

- PERSONS ONLY

- 5. EXTERIOR SIGNAGE BY TENANTS.

BUILDING ELEVATIONS GENERAL NOTES:

 REFER TO FLOOR PLANS FOR DIMENSIONS AND LOCATIONS OF OPENINGS.
 REFER TO A8.1 FOR DOOR AND WINDOW SCHEDULE AND ELEVATIONS. 3. OPENINGS FOR DOORS, WINDOWS, LOUVERS, ETC MUST BE VERIFIED WITH MFR ROUGH OPENING REQUIREMENTS. ARCHITECTURAL DIMENSION PLANS ARE INTENDED TO LOCATE FEATURES OF THE BUILDING AND ARE NOT INTENDED TO BE USED AS CONSTRUCTION COORDINATION DRAWINGS. 4. ROOF LADDER TO HAVE A LOCKING SECURITY GATE TO RESTRICT ACCESS TO AUTHORIZED

BUILDING ELEVATIONS GENERAL NOTES:

- PERSONS ONLY 5. EXTERIOR SIGNAGE BY TENANTS.

	EXTERIOR FINISH SCHEDULE - 'Q'												
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GL-2	DOUBLE PANE WITH LOW-E, CLEAR GLAZING, TEMPERED	SPANDREL, SAFETY GLAZING TO COMPLY WITH IBC SECTION 2406											
MR-1	STANDING SEAM METAL ROOF	BERRIDGE HIGH SEAM TEE-PANEL; COLOR TO MATCH SHASTA WHITE											
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ROOF LADDER TO HAVE A LOCKING SECURITY GATE TO RESTRICT ACCESS TO AUTHORIZED

Márk Type Comments 101 BERNDGE HS & METAL PAREL SYSTEM ON BULDING WRAP ON 122 SHEATHING COMPETATION, WARD RESTRICT, ON # WOOD STUDS WITH DOORDINATE GYP. BD WITH TENANT REQUIREMENTS 102 ISBECALTING CAMTERIAL PAREL SYSTEM ON BULDING WRAP ON 122 SHEATHING COMPETATION, WARD REPARTING, RESTRICT, ON # WOOD STUDS WITH R21 CAMTER INSULATION: WARD REARING ON WARM SIDE WITH GYP. IDD. COORDINATE GYP. BD WITH TENANT REQUIREMENTS 103 BULDING FELT ON SHEATHING, RESTRICT, ON # WOOD STUDS WITH R21 CAMTE INSULATION: WARD REARING ON WARM SIDE WITH GYP. BD. COORDINATE GYP. BD WITH TENANT REQUIREMENTS 104 TYPE X GYP. BD ON EACH SIDE OF 3 335* METAL STUDS WITH R21 MILLIATION TO STRUCTURE PLANE HAVEL COORDINATE GLASS 105 TORDEFRONT SYSTEM WITH DOUBLE PARE. LOW-E. UN-TINTED, GLASS 106 TORDEFRONT SYSTEM WITH DOUBLE PARE. LOW-E. UN-TINTED, GLASS 107 TORDEFRONT SYSTEM WITH DOUBLE PARE. LOW-E. UN-TINTED, GLASS 108 TORDEFRONT SYSTEM WITH DOUBLE PARE. LOW-E. UN-TINTED, GLASS 109 TORDER SYSTEM CON RECENT ON R2.5C I ON PLYMOOD 108 TORDER SYSTEM CON RECENT ON R2.5C I ON PLYMOOD 109 TORDER SYSTEM CON RECENT ON R2.5C I ON PLYMOOD 100 TORDER SYSTEM CON RECENT ON R2.5C I ON PLYMOOD 108 TORDER SYSTEM CON RECENT ON R2.5C I ON PLYMOOD 109 TORDEFRONT SYSTEM CON RECENT ON R2.5C I ON PLYMOOD 100 TORDEFRONT SYSTEM CON RULL A DERER ON R	Туре	Wa	II Type Schedule - 'W'		┤││┻	_
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Roof Type Schedule Type Type Comments M10 DPEN FRAME METAL AWNING; RE: STRUCT. M103 TPO ROOFING SYSTEM FULLY ADHERED TO R-25 CI ON PLYWOOD DECKING ON STRUCTURE PER STRUCT. DECKING ON STRUCTURE PER STRUCT. M11 DPC ROOFING SYSTEM FULLY ADHERED TO R-25 CI ON PLYWOOD M11 DPC ROOFING SYSTEM FULLY ADHERED TO R-26 CI ON PLYWOOD M11 DPC ROOFING SYSTEM FULLY ADHERED TO R-26 CI ON PLYWOOD M11 DPC ROOFING SYSTEM FULLY ADHERED TO R-26 CI ON PLYWOOD M11 DPC ROOFING SYSTEM FULLY ADHERED TO R-26 CI ON PLYWOOD M11 DPC ROOFING SYSTEM FULLY ADHERED TO R-26 CI ON PLYWOOD M11 DPC ROOFING SYSTEM FULLY ADHERED TO R-26 CI ON PLYWOOD M11 DPC ROOFING SYSTEM FULLY ADHERED TO R-26 CI ON PLYWOOD M11 DPC ROOFING SYSTEM FULLY ADHERED TO R-26 CI ON PLYWOOD M11 DPC ROOFING SYSTEM FULLY ADHERED TO R-26 CI ON PL	S102	STOREFRONT SYSTEM GLASS	WITH DOUBLE PANE,	, LOW-E, UN-TINTED,		
Type Type Comments N01 OPEN FRAME METAL ROOF SYSTEM ON ICE AND WATER BARRIER DECKING ON STRUCTURE PER STRUCT. N102 DECKING ON STRUCTURE PER STRUCT. N103 IPD ROOFING SYSTEM FULLY ADHERED TO R-25 CI ON PLYWOOD DECKING ON STRUCTURE PER STRUCT. N103 IPD ROOFING SYSTEM FULLY ADHERED TO R-25 CI ON PLYWOOD DECKING ON STRUCTURE PER STRUCT. N104 IPD ROOFING SYSTEM FULLY ADHERED TO R-25 CI ON PLYWOOD DECKING ON STRUCTURE PER STRUCT. N105 IPD ROOFING SYSTEM FULLY ADHERED TO R-25 CI ON PLYWOOD DECKING ON STRUCTURE PER STRUCT. N105 IPD ROOFING SYSTEM FULLY ADHERED TO R-25 CI ON PLYWOOD DECKING ON STRUCTURE PER STRUCT. N105 IPD ROOFING SYSTEM FULLY ADHERED TO R-25 CI ON PLYWOOD DECKING ON STRUCTURE PER STRUCT. N105 IPD ROOFING SYSTEM TO LULY ADHERED TO R-25 CI ON PLYWOOD DECKING ON STRUCTURE PER STRUCT. N105 IPD ROOFING SYSTEM TO LULY ADHERED TO R-25 CI ON PLYWOOD TO DECKING ON STRUCTURE PER STRUCT. N105 IPD ROOFING SYSTEM TO LULY ADHERED TO R-25 CI ON PLYWOOD TO DECKING ON STRUCTURE PER STRUCT. N105 IPD ROOFING SYSTEM TO LULY ADHERED TO R-25 CI ON PLYWOOD TO DECKING ON STRUCTURE PER STRUCT. N105 IPD ROOFING SYSTEM TO LULY ADHERED TO R-25 CI ON PLYWOOD N106 IPD ROOFING SYSTEM TO LULY ADHERED TO R-25 CI ON PLYWOOD N107 IPD ROOFING SYSTEM TO LULY ADHERED TO R-2		F	Roof Type Schedule			
AND OPEN FRAME METAL AWNING: RE: STRUCT. MIDI TO ROOFING SYSTEM METAL ROOF SYSTEM ON ICE AND WATER BARRIER DI 127 SHEATHING ON R-20 CI ON METAL DECKING ON STRUCTURE PER STRUCT. MIDI TO ROOFING SYSTEM FULLY ADHERED TO R-25 CI ON PLYWOOD DECKING ON STRUCTURE PER STRUCT. MIDI TO ROOFING SYSTEM FULLY ADHERED TO R-25 CI ON PLYWOOD DECKING ON STRUCTURE PER STRUCT. MIDI TO ROOFING SYSTEM FULLY ADHERED TO R-25 CI ON PLYWOOD DECKING ON STRUCTURE PER STRUCT. MIDI TO ROOFING SYSTEM FULLY ADHERED TO R-25 CI ON PLYWOOD DECKING ON STRUCTURE PER STRUCT. MIDI TO ROOFING SYSTEM FULLY ADHERED TO R-25 CI ON PLYWOOD TO ADAMET TO ADAMET	Type Mark		Type Comments		ZA	
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	M102	TPO ROOFING SYSTEM DECKING ON STRUCTU	FULLY ADHERED TO RE PER STRUCT.	R-25 CI ON PLYWOOD		
	M103	TPO ROOFING SYSTEM DECKING ON STRUCTU	FULLY ADHERED ON RE PER STRUCT.	R-25 CI ON PLYWOOD	J Ľ	/e 780
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Image: Strategy of the second secon			+	B.O. TOWER ROOF 130' - 0"		
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				 112' - 4" T.O. STOREFRONT 		
Ind-or MAIN LEVEL 100'-0' Value Value </td <td></td> <td></td> <td>W E10</td> <td>02 T O SILL</td> <td>Drawings and Service and a the Architect.</td> <td>I Specifications are Instrum s such shall remain the pro Any use without written per the Architect is unlawful.</td>			W E10	02 T O SILL	Drawings and Service and a the Architect.	I Specifications are Instrum s such shall remain the pro Any use without written per the Architect is unlawful.
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BUILDING SECTION

A5.1

SHEET:

P:\16025 - Greens Utah Shell\Drawings\Revit\16024_Red Cliffs Plaza Core Shell_A15.rvt TIME STAMP: 8/21/2016 2:39:49 PM

							DOOR & FRAME	SCHEDUL	.E								
Deer			Do	or			Frame	•		Detail	S		Do	or			
Number	Туре	Finish	Width	Single/ Pair	Height	Thickness	Туре	Finish	Head	Ja	mb	Sill	Se	Set Comments			
101	D19	Dark Bronze	3' - 0"	Single	7' - 0"	1 3/4"	Aluminum Storefront	Dark Bronze	PER MANU. SPEC	6&7/A8.2	2 SIM.	3/A8.2	2.0				
102	D19	Dark Bronze	3' - 0"	Single	7' - 0"	1 3/4"	Aluminum Storefront	Dark Bronze	PER MANU. SPEC	6&7/A8.2	2 SIM.	3/A8.2	2.0				
103	D19	Dark Bronze	3' - 0"	Single	7' - 0"	1 3/4"	Aluminum Storefront	Dark Bronze	Dark Bronze PER MANU. SPEC 6&7/A8.2		2 SIM.	3/A8.2	2.0				
104	D20	Dark Bronze	6' - 0"	Pair	7' - 0"	1 3/4"	Aluminum Storefront	Dark Bronze	PER MANU. SPEC	6&7/A8.2	2 SIM.	3/A8.2	1.0				
105	D19	Dark Bronze	3' - 0"	Single	7' - 0"	1 3/4"	Aluminum Storefront	Dark Bronze	PER MANU. SPEC	6&7/A8.2	2 SIM.	3/A8.2	2.0				
106	D19	Dark Bronze	3' - 0"	Single	7' - 0"	1 3/4"	Aluminum Storefront	Dark Bronze	PER MANU. SPEC	6&7/A8.2	2 SIM.	3/A8.2	2.0				
107	D4	Factory Primered	3' - 0"	Single	7' - 0"	1 3/4"	Hollow Metal	Primered	15/A8.2	16/A8.2		N/A	3.0				
108	D4	Factory Primered	3' - 0"	Single	7' - 0"	1 3/4"	Hollow Metal	Primered	15/A8.2	16/A8.2		N/A	4.0				
109	D4	Factory Primered	3' - 0"	Single	7' - 0"	1 3/4"	Hollow Metal	Primered	15/A8.2	16/A8.2		N/A	4.0				
								Exterior W	/indow Schedule								
						Window						Fram	е		Details		
Window T	уре	Description		Width	Height	Sill Heig	Grid to Mullic ht Face	on	Glazing Type		Тур	pe	Finish	Head	Jamb	Sill	Type Comments
A	WIN TRA 120	NDOW - DT WITH OPEN ANSOM - 48X60IN 5X1510MM - ALUMINUM	3' ·	· 11 1/2" 5' ·	- 4"	3' - 0"	2 1/8"	Double P	ble Pane Insulated Low-E		Butt	D	ark Bronze	1/A8.2	6/A8.2	10/A8.2	USE IN CONJUNCTION WITH AA300 HEATED AIR CURTAIN
В	124	x 96 Window	8' ·	· 0" 10	' - 4"	0"	2 1/8"	Double P	Double Pane Insulated Low-E		Butt	D	ark Bronze	4/A8.2	6&7/A8.2	12/A8.2	
С	124	x 96 Window	8' ·	· 0" 10	' - 4"	0"	2 1/8"	Double P	ane Insulated Low-E		Butt	D	ark Bronze	1/A8.2	6/A8.2	12/A8.2	
D	124	x 96 Spandrel Window	8' ·	· 0" 10	' - 4"	0"	2 1/8"	Double P	ane Insulated Low-E S	Spandrel	Butt	D	ark Bronze	4/A8.2	6&7/A8.2	12/A8.2	
E	124	x 96 Spandrel Window	8' ·	· 0" 10	' - 4"	0"	2 1/8"	Double P	ane Insulated Low-E S	Spandrel	Butt	D	ark Bronze	1/A8.2	6/A8.2	12/A8.2	

							Storefront W	ndow Schedu	le				
				Window				F	Frame		Details		
Window Type	Description	Width	Height	Base Level	Base Offset	Grid to Mullion Face	Glazing Type	Туре	Finish	Head	Jamb	Sill	Type Comments
F	STOREFRONT WINDOW SYSTEM	26' - 5 1/2"	22' - 8 15/64"	MAIN LEVEL	0"	3 1/2"	Double Pane Insulated Low-E	Butt	Dark Bronze	2/A8.2	6&7/A8.2	12/A8.2	STOREFRONT SYSTEM WITH DOUBLE PANE, LOW-E, UN-TINTED, GLASS
G	STOREFRONT WINDOW SYSTEM	12' - 9 221/256"	22' - 8 5/128"	MAIN LEVEL	0"	3 1/2"	Double Pane Insulated Low-E	Butt	Dark Bronze	4/A8.2	7&14/A8.2	12/A8.2	STOREFRONT SYSTEM WITH DOUBLE PANE, LOW-E, UN-TINTED, GLASS
Н	STOREFRONT WINDOW SYSTEM	13' - 3 147/256"	22' - 8 1/64"	MAIN LEVEL	0"	3 1/2"	Double Pane Insulated Low-E	Butt	Dark Bronze	2/A8.2	6&14/A8.2	12/A8.2	STOREFRONT SYSTEM WITH DOUBLE PANE, LOW-E, UN-TINTED, GLASS
J	STOREFRONT WINDOW SYSTEM	16' - 7 1/2"	22' - 7 121/128"	MAIN LEVEL	0"	3 1/2"	Double Pane Insulated Low-E	Butt	Dark Bronze	2/A8.2	6&14/A8.2	12/A8.2	STOREFRONT SYSTEM WITH DOUBLE PANE, LOW-E, UN-TINTED, GLASS
К	STOREFRONT WINDOW SYSTEM	8' - 0"	10' - 4"	MAIN LEVEL	0"	2 1/8"	Double Pane Insulated Low-E	Butt	Dark Bronze	4/A8.2	6&7/A8.2	12/A8.2	STOREFRONT SYSTEM WITH DOUBLE PANE, LOW-E, UN-TINTED, GLASS
L	STOREFRONT WINDOW SYSTEM	10' - 0"	10' - 4"	MAIN LEVEL	0"	2 1/8"	Double Pane Insulated Low-E	Butt	Dark Bronze	1/A8.2	6/A8.2	12/A8.2	STOREFRONT SYSTEM WITH DOUBLE PANE, LOW-E, UN-TINTED, GLASS
М	STOREFRONT WINDOW SYSTEM	2' - 0"	3' - 8"	T.O. SILL	4"	2 1/8"	Double Pane Insulated Low-E	Butt	Dark Bronze	1/A8.2	6/A8.2	13/A8.2	STOREFRONT SYSTEM WITH DOUBLE PANE, LOW-E, UN-TINTED, GLASS

DOOR AND WINDOW GENERAL NOTES

- 1. REFER TO PROJECT SPECIFICATIONS FOR DETAILED REQUIREMENTS FOR MANUFACTURE, FINISHING, AND INSTALLATION.
- 2. DOORS, WINDOWS, HARDWARE AND OPERATORS SHALL COMPLY WITH LOCAL JURISDICTION ADOPTED BUILDING CODES AND NFPA 101 "LIFE SAFETY CODE" CURRENT
- EDITION. 3. DOORS AND WINDOWS SHALL BE IN CONFORMANCE WITH WINDOW AND DOOR MANUFACTURERS ASSOCIATION (WDMA) AND/OR STEEL DOOR INSTITUTE (SDI) PUBLISHED STANDARDS. GRADES OF CÚSTOM DOORS ARE AS DEFINED BY
- ARCHITECTURAL WOODWORK INSTITUTE (AWI) STANDARDS. 4. ALL WOOD DOORS SHALL BE "CUSTOM GRADE" OR BETTER UNO AND STAINED IN FIELD. 5. ALL INTERIOR WOOD DOORS TO BE BIRCH - SELECT WHITE UNO.
- 6. ALL DOORS FACING EXTERIOR SHALL CONTAIN INTEGRAL BOARD INSULATION APPROPRIATE FOR THE CLIMATE.
- 7. ALL GLASS AT EXTERIOR PERIMETER OF WALL IN DOORS AND WINDOWS TO BE 1" CLEAR INSULATED LOW E GLAZING WITH A U-FACTOR NOT TO EXCEED .55 AND A SHGC NOT TO EXCEED .40. LITES IN INTERIOR DOORS NEED ONLY BE SINGLE PANE GLAZING. 8. LITES SHALL BE HEAT STRENGTHENED AS REQUIRED BY CODES.
- 9. AT ANY DOOR THAT OPENS IN SUCH A WAY AS TO STRIKE A WALL, WALL PROTECTION HARWARE SHALL BE PROVIDED WITH APPROPRIATE CONCEALED BLOCKING TO PREVENT WALL DAMAGE.
- 10. DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES MIN AND 48 INCHES MAX ABOVE THE FINISHED FLOOR. LOCKS USED ONLY FOR SECURITY PURPOSES AND NOT USED FOR NORMAL OPERATION ARE PERMITTED AT ANY HEIGHT. 11. ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR
- ANY SPECIAL KNOWLEDGE OR EFFORT. ALL HARDWARE TO BE IBC / ANSI / ADA COMPLIANT. 12. ALL STOREFRONT DOOR AND WINDOW FRAME FINISH TO BE KAWNEER #18 CHAMPAGNE
- DOOR TYPE/FINISH ACRONYMS ARE DEFINED AS FOLLOWS:

(T) TEMPERED GLAZING

HARDWARE SETS:

OR SIMILAR.

SEE PROJECT MANUAL

	Wall Type Schedule - 'W'										
Type Mark	Type Comments										
E101	BERRIDGE HS-8 METAL PANEL SYSTEM ON BUILDING WRAP ON 1/2" SHEATHING ON SHEATHING RE: STRUCT. ON 6" WOOD STUDS WITH R-21 INSULATION; VAPOR BARRIER ON WARM SIDE WITH GYP. BD.; COORDINATE GYP. BD WITH TENANT REQUIREMENTS										
E102	1 5/8" CMU ADHERED VENEER ON METAL LATHE ON 2 LAYERS #15 BUILDING FELT ON SHEATHING; RE: STRUCT. ON 6" WOOD STUDS WITH R-21 CAVITY INSULATION; VAPOR BARRIER ON WARM SIDE WITH GYP. BD.; COORDINATE GYP. BD WITH TENANT REQUIREMENTS										
E103	3 COAT STUCCO SYSTEM ON METAL LATHE ON 2 LAYERS #15 BUILDING FELT ON SHEATHING PER STRUCT. ON 6" WOOD STUDS WITH R-21 CAVITY INSULATION; VAPOR BARRIER ON WARM SIDE WITH GYP. BD.; COORDINATE GYP. BD WITH TENANT REQUIREMENTS										
1101	1 LAYER TYPE X GYP. BD ON EACH SIDE OF 3 5/8" METAL STUDS WITH R-19 INSULATION TO STRUCTURE; DEMISE WALL; COORDINATE GYP. BD WITH TENANT REQUIREMENTS										
S101	STOREFRONT SYSTEM WITH DOUBLE PANE, LOW-E, UN-TINTED, GLASS										
S102	STOREFRONT SYSTEM WITH DOUBLE PANE, LOW-E, UN-TINTED, GLASS										

SHEET: A9.1

JOB NUMBER:

DRAWN BY:

DATE:

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APPROVED BY:

SHEET TITLE:

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Author

Approver

7/15/2016

Original drawing is 24" x 36" | Scale entities accordingly if reduced

RESTROOM ENLARGED

PLAN

PARTITION TYPES - GENERAL NOTES:

 REFER TO GENERAL INFORMATION SHEETS AND PROJECT MANUAL FOR ABBREVIATIONS, SYMBOLS, AND ADDITIONAL NOTES.
 REFER TO OVERALL FLOOR PLANS AND ENLARGED PLANS FOR DESIGNATION OF PARTITION TYPES. 3. WHERE TWO DIFFERING PARTITION TYPES ABUT IN LINE AND ALONG A CONTINUOUS LENGTH OF PARTITIONS, THE PRIMARY EXPOSED CONTINUOUS FINISHED SURFACES OF THESE PARTITIONS SHALL ALIGN UNLESS NOTED OTHERWISE. 4. INCREASED METAL STUD GAUGE OR TIGHTER STUD SPACING SHALL BE AS REQUIRED FOR HEIGHT OF PARTITION. MAXIMUM ALLOWABLE

 USE 5/8" TYPE "X" GYPSUM BOARD AT RATED PARTITIONS. USE 5/8" STANDARD GYPSUM BOARD AT ALL OTHER LOCATIONS UNO.
 USE MOLD/MOISTURE RESISTANT GYP BOARD FOR CEILINGS IN ROOMS CONTAINING SHOWERS. MINIMUM FRAMING TO BE 1'-0" ON CENTER. 7. ACOUSTICAL BATT INSULATION TO TERMINATE AT THE STRUCTURE UNLESS NOTED OTHERWISE.

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MECHANICAL GENERAL NOTES

GENERAL

SCOPE

THE INTENT OF THE SPECIFICATION AND THE DRAWINGS IS TO PROVIDE A COMPLETE AND FULLY OPERATIONAL MECHANICAL SYSTEM. THE MECHANICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL LABOR, MATERIAL AND EQUIPMENT NECESSARY TO COMPLETE THE MECHANICAL WORK.

SITE EXAMINATION

THE MECHANICAL CONTRACTOR SHALL THOROUGHLY EXAMINE ALL AREAS WHERE EQUIPMENT, DUCTWORK, AND PIPING WILL BE INSTALLED AND WILL REPORT ANY CONDITION THAT, IN HIS OPINION, PREVENTS THE PROPER INSTALLATION OF THE MECHANICAL WORK.

STANDARDS

EQUIPMENT AND MATERIALS SHALL CONFORM WITH APPROPRIATE PROVISIONS OF ARL, ASME, ASTM, UL, NEMA, ANSI, SMACNA, ASHRAE, AND NFPA, AS APPLICABLE TO EACH INDIVIDUAL UNIT OR ASSEMBLY.

CODES

ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES. IN CASE OF CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATION AND THE CODES AND THE ORDINANCES, THE HIGHEST STANDARDS SHALL APPLY. THE MECHANICAL CONTRACTOR SHALL SATISFY CODE REQUIREMENTS AS A MINIMUM STANDARD WITHOUT ANY EXTRA COST TO OWNER/TENANT.

PERMITS AND FEES

THE MECHANICAL CONTRACTOR SHALL PROCURE AND PAY FOR ALL PERMITS, FEES AND INSPECTORS NECESSARY TO COMPLETE THE MECHANICAL WORK.

WARRANTY

THE MECHANICAL CONTRACTOR SHALL UNCONDITIONALLY WARRANT ALL WORK TO BE FREE OF DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY OWNER/TENANT AND WILL REPAIR OR REPLACE ANY DEFECTIVE WORK PROMPTLY AND WITHOUT CHARGE AND RESTORE ANY OTHER EXISTING WORK DAMAGED IN THE COURSE OF REPAIRING DEFECTIVE MATERIAL AND WORKMANSHIP.

FILTERS

PROVIDE TWO (2) SETS OF PLEATED DISPOSABLE FILTERS. USE ONE SET UNTIL COMPLETIÓN OF CONSTRUCTION. INSTALL ONE SET AT COMPLETION OF CONSTRUCTION. FILTERS TO BE FARR, OR SIMILAR.

DUCTWORK & ACCESSORIES

SHEETMETAL DUCTWORK ALL DUCTWORK TO BE RIGID SHEETMETAL CONSTRUCTED FROM GALVANIZED SHEET STEEL IN ACCORDANCE WITH SMACNA 1" PRESSURE CLASS DUCT CONSTRUCTION STANDARDS ALL EXPOSED DUCTWORK TO BE ROUND, SPIRAL, OR RECTANGULAR LOCK-SEAM TYPE, AS SHOWN ON HVAC PLAN. ASSEMBLE AND INSTALL DUCTWORK IN ACCORDANCE WITH RECOGNIZED INDUSTRY PRACTICE FOR ACHIEVING AIR TIGHT (5% LEAKAGE) AND NOISELESS (NO OBJECTIONABLE NOISE) SYSTEMS, CAPABLE OF PERFORMING EACH INDICATED SERVICE. FURNISH ALL REQUIRED DAMPERS, TRANSITIONS, CONNECTIONS TO AIR TERMINALS, AND OTHER ACCESSORIES NECESSARY FOR A COMPLETE OPERATING SYSTEM. NO VARIATION OF DUCT CONFIGURATION OR SIZES WILL BE PERMITTED EXCEPT BY PERMISSION FROM THE ENGINEER.

DUCT SEALANT

SEAL ALL CONCEALED LONGITUDINAL AND TRANSVERSE JOINTS WITH A NON-HARDENING, NON-MIGRATING MASTIC OR LIQUID ELASTIC SEALANT OF A TYPE RECOMMENDED BY THE MANUFACTURER FOR SEALING JOINTS AND SEAMS IN SHEET METAL DUCTWORK. COVER ALL FIELD JOINTS, JOINTS AROUND SPIN-IN FITTINGS AND FASTENING SCREWS WITH MASTIC. DO NOT SEAL EXPOSED DUCT.

SUPPORTS

PROVIDE HOT-DIPPED GALVANIZED STEEL FASTENERS, ANCHORS, RODS, STRAPS, TRIM, AND ANGLES FOR SUPPORT OF DUCTWORK.

THERMAL INSULATION

PROVIDE EXTERNAL THERMAL INSULATION WITH AN INTEGRAL VAPOR BARRIER FACING OF SUFFICIENT THICKNESS TO PROVIDE R5 WHEN LOCATED IN UNCONDITIONED SPACE & R8 WHEN LOCATED OUTSIDE THE BUILDING. PROVIDE INSULATION ON EXHAUST AND OUTSIDE AIR DUCTS, AND ON CONCEALED PORTIONS OF SUPPLY AND RETURN AIR DUCTS. DO NOT INSULATE EXPOSED DUCTWORK AND PORTIONS OF DUCTWORK THAT ARE INTERNALLY LINED. THERMAL INSULATION TO COMPLY WITH AN NFPA FLAME SPREAD OF 25 OR LESS, AND SMOKE DEVELOPED NO GREATER THAN 50.

ACOUSTICAL DUCT LINER

UNLESS OTHERWISE INDICATED ON THE PLANS, PROVIDE 1" GLASS FIBER ACOUSTICAL DUCT LINER ON SUPPLY AND RETURN DUCTWORK WITHIN 10 FEET OF THE DISCHARGE AND INTAKE OF AIR HANDLING UNITS. INCREASE DUCT SIZE INDICATED ON PLANS 2" IN EACH DIMENSION TO ACCOMMODATE LINER.

CONTROLS AND OPERATIONS

CONTROLS UNIT CONTROLS PROVIDED UNDER SEPARATE PERMIT.

MARK	MODEL	101° AMBIENT /	MBIENT / 77° EDB / 56° EWB EVAPORATOR FAN DATA				HEAT SECTION	MANUFACTURER	VOLTAGE/	COMPRESSOR #1	COMPRESSOR #2	CONDENSER FAN	EVAPORATOR FAN	MCA	OPD	WEIGHT	EER	SEER	REMARKS	
		TOTAL COOLING	SENSIBLE COOLING	CFM TOTAL	ESP IN W.C.	O.A. DESIGN MIN.	O.A. DCV MIN	@ S.L.		PHASE	RLA	RLA	FLA							
RTU-1	YHC120F3-M	94.9	82	4000	0.8	700	205	200 MBH	TRANE	208V/3	19.6	10.4	2.7	8.5	46.1	60A	1670	12.4	-	1-8
RTU-2	YHC120F3-L	93.8	80	4000	0.8	150	-	150 MBH	TRANE	208V/3	19.6	10.4	2.7	8.5	46.1	60A	1670	12.4	-	1-4,6-8
RTU-3	YHC047E3-L	40.7	32.2	1600	0.8	150	-	60 MBH	TRANE	208V/3	14	-	2.5	9.4	29.4	40A	975	-	17.5	1-4,6,8
RTU-4	YHC092F3-L	71	61	3000	0.8	555	-	120 MBH	TRANE	208V/3	15.9	10	3.5	8.5	41.9	50A	1300	12.6	-	1-4,6-8
RTU-5	YHC092F3-L	71	61	3000	0.8	555	-	120 MBH	TRANE	208V/3	15.9	10	3.5	8.5	41.9	50A	1300	12.6	-	1-4,6-8
RTU-6	YHC120F3-L	92	79	4000	0.8	430	-	150 MBH	TRANE	208V/3	19.6	10.4	2.7	8.5	46.1	60A	1670	12.4	-	1-4,6-8
RTU-7	YHC120F3-L	92	79	4000	0.8	430	-	150 MBH	TRANE	208V/3	19.6	10.4	2.7	8.5	46.1	60A	1670	12.4	-	1-4,6-8

.. PROVIDE SMOKE DETECTOR INTERLOCKED W/ BLOWER PER IMC. 2. PROVIDE ROOF CURB.

3. BLOWER TO OPERATE CONTINUOUSLY DURING BUSINESS HOURS.

4. PROVIDE CONDENSER COIL HAILGUARD.

5. PROVIDE DEMAND CONTROL VENTILATION. 6. PROVIDE NON-FUSED DISCONNECT AND CONVENIENCE RECEPTACLE 7. PROVIDE POWER EXHAUSTER

8. PROVIDE 100% OUTSIDE AIR ECONOMIZER

		TENANT 1			NCE TABLE						TENANT 2	- OUTSIDE A		NCE TABLE]
DESCRIPTION	AREA SF	PEOPLE/1000SF	POPULATION	CFM/PERSON	AREA AIRFLOW RATE	Ez	REQUIRED OUTSIDE AIR CFM	OUTSIDE AIR PROVIDED CFM	DESCRIPTION	AREA SF	PEOPLE/1000SF	POPULATION	CFM/PERSON	AREA AIRFLOW RATE	Ez	REQUIRED OUTSIDE AIR CFM	OUTSIDE AIR PROVIDED CFM	
SEATING	1120	50	40	7.5	0.18	0.8	627	700	RETAIL	3820	15	57	7.5	0.12	0.8	1110	1110	
BACKBAR	400	0	0	0.0	0	0.8	0	150	TOTALS	3820		57				1110	1110	
WORKROOM	395	0	0	0.0	0.06	0.8	30	150										
VESTIBULE	30	0	0	0.0	0.06	0.8	2	5	TENANT 3 - OUTSIDE AIR COMPLIANCE TABLE									
WOMEN'S	55	0	0	0.0	0	0.8	0	0	DESCRIPTION	AREA	PEOPLE/1000SF	POPULATION	CFM/PERSON	AREA AIRFLOW	Ez	REQUIRED	OUTSIDE AIR	EXHAUST AIR
MEN'S	55	0	0	0.0	0	0.8	0	0		SF				RATE		OUTSIDE AIR CFM	PROVIDED CFM	CFM
TOTALS	2055		40				659	1005	RETAIL	2840	15	43	7.5	0.12	0.8	825	860	0
									MEN'S	60	0	0	0.0	0	0.8	0	0	75
									WOMEN'S	60	0	0	0.0	0	0.8	0	0	75
1	DIFFUSER SCHEDULE								TOTALS	2960		43				825	860	150

				DIFE								TromErro		
												TOTALS		2960
MARK	SERVICE	FACE SIZE	NECK SIZE	FIR DAMF	re volu Per dam	JME PER	MFR	MODEL	REMARKS					
E1	EXHAUST	10" x 10"	8" x 8"	NC	D YE	S	PRICE	10	W/ OPPOSED BLADE I	DAMPER				
MARK	AREA SERVED	SERVICE	LOCATION	CFM	S.P. @ ALTITUDE (IN W.C.)	RPM	HP OR WATTS	PRE-FAB CURB	BACKDRAFT DAMPER	TYPE	VIB. ISOL.	MFR. & MODEL NO.	VOLTS/ PHASE	REMARKS
EF-1	RESTROOMS	EXHAUST	ROOF	150	0.3	1483	1/6	YES	WD-100-PB 10X10	CENTRIFUGAL	NO	GREENHECK G-070-VG	120/1	1, 2
			•	•					·					

1. PROVIDE TIMECLOCK CONTROL 2. PROVIDE DIAL ON MOTOR CONTROL

DETAIL NOTES:

 $\langle 1 \rangle$ (N) QUESTAR GAS METER, 7"W.C., 326 CFH, 220'TDL

- $\langle 2 \rangle$ (N) QUESTAR GAS METER,
- 7"W.C., 260 CFH, 150'TDL
- $\langle 3 \rangle$ (N) QUESTAR GAS METER, 7"W.C., 580 CFH, 80'TDL
- 4 1"G STUB FOR FUTURE WATER HEATER

- UNDERCUT DOOR 1"

 $\left(\begin{array}{c} CH \\ 1 \\ 2 \end{array} \right)$

MECHANICAL EQUIPMENT SCHEDULE

INDEECO FLUSH MOUNTED CEILING HEATER, MODEL ASS2424-375-120. ELECTRICAL CHARACTERISTICS: 120V, 375W. PROVIDE LINE VOLTAGE THERMOSTAT.

GENERAL

SCOPE

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SITE EXAMINATION

THE PLUMBING CONTRACTOR SHALL THOROUGHLY EXAMINE ALL AREAS WHERE FIXTURES, EQUIPMENT, AND PIPING WILL BE INSTALLED AND WILL REPORT ANY CONDITION THAT. IN HIS OPINION, PREVENTS THE PROPER INSTALLATION OF THE PLUMBING WORK.

STANDARDS

EQUIPMENT AND MATERIALS SHALL CONFORM WITH APPROPRIATE PROVISIONS OF ASME. ASTM, UL, NEMA, ANSI, ASHRAE, NFPA, AS APPLICABLE TO EACH INDIVIDUAL UNIT OR ASSEMBLY.

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PIPING

SOIL, WASTE AND VENT PIPING

SOIL, WASTE AND VENT PIPING 10" AND SMALLER SHALL BE SERVICE WEIGHT, HUBLESS, CAST IRON PIPE AND FITTINGS CONFORMING WITH THE REQUIREMENTS OF CISPI STD 301, ASTM A888 OR ASTM A74, WITH NEOPRENE GASKET AND STAINLESS STEEL SHIELD AND CLAMP. PROVIDE HUB-TYPE PIPE AND FITTINGS BELOW GRADE WHERE REQUIRED BY LOCAL CODES. PIPE AND FITTINGS SHALL BE MARKED WITH THE CISPI TRADEMARK. SCHEDULE 40 ABS OR PVC PIPE AND FITTINGS WITH SOLVENT WELD MAY BE SUBSTITUTED FOR SOIL, WASTE AND VENT PIPING ABOVE AND BELOW GRADE IF ALLOWED BY LOCAL AUTHORITY, EXCEPT WHEN USED IN RETURN AIR PLENUMS OR WHEN PENETRATING RATED ASSEMBLIES. HORIZONTAL RUNS SHALL DRAIN AT A GRADE OF 1/4 INCH PER FOOT WHERE POSSIBLE BUT IN NO CASE LESS THAN 1/8" PER FOOT. COORDINATE WITH LOCAL AUTHORITIES FOR DRAINAGE REQUIREMENTS FOR EQUIPMENT DESIGNATED WITH INDIRECT WASTE TO FLOOR DRAINS. PROVIDE PIPED DRAIN TO SANITARY IF REQUIRED BY LOCAL JURISDICTION.

DOMESTIC WATER PIPING

DOMESTIC WATER PIPING 2" AND SMALLER SHALL BE COPPER TUBE WITH WROUGHT COPPER SWEAT FITTINGS JOINED WITH LEAD FREE SOLDER. PROVIDE TYPE "L" COPPER TUBE ABOVE GRADE AND TYPE "K" BELOW GRADE.

GAS PIPING GAS PIPING SHALL BE SCHEDULE 40, SEAMLESS, BLACK STEEL PIPE. PROVIDE PIPING SUPPORT BLOCKING ON ROOF, COMPATIBLE WITH ROOFING SYSTEM.

HANGERS & SUPPORTS

THE PLUMBING CONTRACTOR SHALL FURNISH ALL PIPE SUPPORTS REQUIRED FOR HIS EQUIPMENT AND MATERIAL. HANGERS AND PIPE ATTACHMENTS TO BE FACTORY FABRICATED WITH GALVANIZED COATINGS; NONMETALLIC COATED FOR HANGERS IN DIRECT CONTACT WITH COPPER TUBING.

CONNECTIONS

INSTALL UNIONS ADJACENT TO EACH VALVE AND AT FINAL CONNECTION TO EACH PIECE OF EQUIPMENT. INSTALL DIELECTRIC COUPLINGS TO CONNECT PIPING MATERIALS OF DISSIMILAR METALS. SCREW JOINT STEEL PIPING UP TO AND INCLUDING 1-1/2". WELD PIPING USE LEAD FREE SOLDER FOR SOLDERING DOMESTIC WATER COPPER PIPE.

CLEANOUTS

PROVIDE J.R. SMITH OR EQUIVALENT FLOOR AND WALL CLEANOUTS AS INDICATED ON THE DRAWINGS OR WHERE REQUIRED IN ALL SOIL, WASTE, AND DRAIN LINES. IN AREAS WITH CERAMIC TILE OR CARPETED FLOORING, PROVIDE CLEANOUTS WITH SQUARE, ADJUSTABLE, NICKEL BRONZE TOP. IN AREAS WITH RESILIENT FLOORING, PROVIDE CLEANOUTS WITH

GREASE INTERCEPTOR SIZING CALCULATIONSFIXTUREFLOW (GPM)QTYTOTAL GPMMOP SINK202403-COMPARTMENT SINK35270DISHWASHER15230KITCHEN SINK208160TOTAL300 GPMLOAD FACTOR = 0.02 (LOW VOLUME) PETENTION TIME = 2 HPS											
FIXTURE	FLOW (GPM)	QTY	TOTAL GPM								
MOP SINK	20	2	40								
3-COMPARTMENT SINK	70										
DISHWASHER	15	2	30								
KITCHEN SINK	20	8	160								
TOTAL			300 GPM								
LOAD FACTOR = 0.02 (LOW VOLU RETENTION TIME = 2 HRS 300 X 0.02 X 60 X 2 = 720 GALLON USE 1000 GALLON INTERCEPTOR	ME) I										

SQUARE, ADJUSTABLE, NICKEL BRONZE TOP WITH TILE RECESS. CLEANOUTS SHALL BE SAME SIZE AS PIPE EXCEPT THAT CLEANOUTS LARGER THAN 4" WILL NOT BE REQUIRED. WHERE CLEANOUTS OCCUR IN WALLS OF FINISHED AREAS, THEY SHALL BE CONCEALED BEHIND CHROME PLATED ACCESS COVERS. INSTALLATION

INSTALL PIPING FREE OF SAGS AND BENDS. INSTALL FITTINGS FOR CHANGES IN DIRECTION AND BRANCH CONNECTIONS. INSTALL SLEEVES FOR PIPES PASSING THROUGH CONCRET AND MASONRY WALLS, GYPSUM-BOARD PARTITIONS, CONCRETE FLOOR, AND ROOF SLABS SEAL PIPE PENETRATIONS THROUGH RATED CONSTRUCTION WITH FIRESTOPPING SEALANT MATERIAL. UNDERGROUND WATER AND SEWER LINES SHALL BE LAID IN SEPARATE TRENCHES WITH A MINIMUM HORIZONTAL SPACING AS REQUIRED BY CODE, EXCAVATED T THE PROPER DEPTH AND GRADED TO PRODUCE THE REQUIRED FALL.

TESTING ALL PIPES SHALL BE TESTED BY AN APPROVED METHOD BEFORE THEY ARE BACKFILLED OR CONCEALED.

VALVES

GENERAL PLUMBING CONTRACTOR TO PROVIDE VALVES WHERE INDICATED ON PLANS AND AS NECESSARY FOR PROPER SYSTEM OPERATION AND COMPONENT ISOLATION. INSTALL VALVES FOR EACH FIXTURE AND ITEM OF EQUIPMENT. PROVIDE BRAIDED STAINLESS STEEL HOSE (UNLESS OTHERWISE NOTED) BETWEEN VALVE AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. LOCATE SHUT-OFF VALVES ADJACENT TO EQUIPMENT FOR EASY ACCESS SUCH THAT VALVES CAN BE REACHED WITHOUT MOVING EQUIPMENT.

VALVES PROVIDE VALVES FOR WORKING PRESSURE IN WATER PIPING OF 125 PSI OR GREATER. INSULATION

WATER PIPING

PROVIDE THERMAL INSULATION ON ALL HOT & COLD WATER PIPING. USE SELF-SEALING CLOSED CELL FOAM OR JACKETED FIBERGLASS INSULATION WITH MANUFACTURER APPROVED ADHESIVES, SEALERS, AND COATINGS. ALL MATERIALS USED SHALL NOT EXCEED 25 FOR FLAME SPREAD, 50 FOR FUEL CONTRIBUTED, OR 50 FOR SMOKE DEVELOPED. UNLESS OTHERWISE REQUIRED BY THE LOCAL AUTHORITY OR ENERGY CODES, THE MINIMUM INSULATION LEVELS SHALL BE AS FOLLOWS:

PIPE SIZE INSULATION THICKNESS 1" DIA. OR LESS 1"- 2" DIA.

2" DIA. OR GREATER 1-1/2" (INSULATION VALUE (R) = 4 TO 4.6 / INCH)

SAFETY COVERS

INSTALL NO-SCALD SAFETY COVERS WITH INSULATED FOAM LINER AND TAMPER PROOF STRAP AT ALL EXPOSED HOT WATER & WASTE PIPING.

RAIN CONDUCTORS

INSULATE RAIN WATER CONDUCTORS WHICH PASS THROUGH OCCUPIED AREAS WITH 1/2" THICK FIBERGLASS INSULATION. INSULATION SHALL NOT EXCEED 25 FOR FLAME SPREAD, 50 FOR FUEL CONTRIBUTED, OR 50 FOR SMOKE DEVELOPED.

		MINIMUM	HYDRONIC & DOME	STIC	HOT WAT	ER	MINIMUM HYDRONIC & DOMESTIC HOT WATER PIPE INSULATION THICKNESS (IN INCHES)										
		PIPE IN:	SULATION THICKNE	DESIGN SIZE	NOMINAL COPPER TUBE	NOMINAL PEX	NOMINAL BLACK IRON	CSST EHD									
	FLUID OPERATING INSULATION CONDUCTIVITY NOMINAL PIPE OR TUBE SIZE (INCHES)							16"	<u>ل</u>	16"	16"	18					
	TEMPERATURE RANGE AND USAGE (℉)	CONDUCTIVITY BTU - IN./(H - FT ² - °F) ^B	MEAN RATING TEMPERATURE, °F	1	1 TO < 1-1/2	1-1/2 TO < 4	4 TO < 8	<u>≥</u> 8	72 3⁄4"	3/4"	1"	3⁄4"	23				
N	201 -250	0.27 - 0.30	150	2.5	2.5	2.5	3.0	3.0	1"	1"	11/4"	1"	31				
	141 - 200	0.25 - 0.29	125	1.5	1.5	2.0	2.0	2.0	11/4"	11/4"	1½"	11/4"	37				
	105 - 140	0.21 - 0.28	100	1.0	1.0	1.5	1.5	1.5	11/2"	1½"	2"	1½"	47				
)	40 - 60	0.21 - 0.27	75	0.5	0.5	1.0	1.0	1.0	2"	2"	-	2"	60				

PIP	PIPE HANGER SPACING REQUIREMENTS												
MATERIAL	SIZE	MAX HORIZONTAL SPACING	MAX VERTICAL SPACING										
ABS	ALL	4'	10'										
CAST IRON < 10'	ALL	5'	15'										
CAST IRON - 10'	ALL	10'	15'										
COPPER	< 1-1/2	6'	10'										
COPPER	≥1-1/2	10'	10'										
PEX	ALL	32"	10'										
PVC	ALL	4'	10'										

WATER FIXTURE UNIT CALCULATION DESCRIPTION WFU QUA TOILET 5 LAVATORY 2 HANDSINK 2 MOPSINK 3 DROP-IN SINK 2 3-COMP SINK 4 DRINKING FOUNTAIN 0.25 DIPPERWELL 0.25 WARE WASHER 1.4 TOTAL DOMESTIC DEMAND

TOTAL DEVELOPED LENGTH

		PLUM	BING FIXTUI	RE SCH	EDUL	E		
MARK	DESCRIPTION	MANUFACTURER	MODEL	CW	НW	TW	w	REMARKS
WC-1	WATER CLOSET	AMERICAN STANDARD	211AA.104	1/2"			3"	COLOR WHITE, W OPEN SEAT, 17" FLOOD RIM
L-1	LAVATORY	KOHLER	K-2699				1 1/4"	COLOR WHITE
F-1	LAVATORY FAUCET	DELTA	501DST	1/2"		1/2"		
TV-1	BELOW SINK TEMPERING VALVE	WATTS	LFUSG-B	1/2"	1/2"	1/2"		
DF-1	DRINKING FOUNTAIN	HAWS	1011	1/2"			2"	
WH-1	WATER HEATER	A.O. SMITH	DSE-10	3/4"	3/4"			10 GAL, 3KW, 277V, 1 PH, 10.8A
ET-1	EXPANSION TANK	AMTROL	ST-5		1/2"			
FD-1	FLOOR DRAIN	ZURN	FD-2201-FMT				2"	WITH TRAP PRIMER ADAPTER
BFP-1	BACKFLOW PREVENTER	FEBCO	LF825YA	1-1/2"				
HB-1	HOSE BIBB	ZURN	1320-EZ	1/2"				W/ VACUUM BREAKER
PRV-1	PRESSURE REDUCING VALVE	WATTS	LFX65B	1-1/2"				
YH-1	YARD HYDRANT	WOODFORD	Y2	3/4"				W/ ASSE 1052 BFP

NTITY	TOTAL WFU
6	30
6	12
2	4
3	9
4	8
1	4
2	0.5
2	0.5
	1.4
	69.4
	35 GPM
	225'

WATER ENTRANCE DETAIL P100 SCALE: NTS

PLUMBING NOTES:

- 1 $1\frac{1}{2}$ CW ENTRANCE.
- (2) 1" CW & HW TO WATER HEATER.
- (3) $\frac{1}{2}$ " CW AND HW TO SINK. INSTALL BELOW SINK TEMPERING VALVE.
- (4) ½" CW TO TOILET.
- (5) $1\frac{1}{2}$ BACKFLOW PREVENTER.
- (6) VALVE AND CAP 1" FOR FUTURE TENANT CONNECTION.
- (7) $\frac{1}{2}$ " CW TO DRINKING FOUNTAIN.
- (8) $\frac{1}{2}$ CW FROM TRAP PRIMER TO ADJACENT FLOOR DRAIN. PROVIDE ACCESS PANEL FOR TRAP PRIMER.
- (9) VALVE AND CAP $1\frac{1}{4}$ " FOR FUTURE TENANT CONNECTION.

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ELECTRICAL GENERAL NOTES - APPLICABLE TO ALL ELECTRICAL SHEETS

- PRIOR TO SUBMITTING BIDS THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXISTING ELECTRICAL EQUIPMENT CONDITIONS AND DIFFICULTIES THAT WILL AFFECT EXECUTION OF THE WORK. FIELD VERIFY QUANTITIES OF EXISTING LIGHT FIXTURES, ELECTRICAL DEVICES, COMMUNICATION DEVICES, FIRE ALARM DEVICES, AND ELECTRICAL EQUIPMENT. NOTIFY THE ARCHITECT AND ENGINEER OF ANY EXISTING CONDITIONS WHICH MODIFY THE SCOPE OF WORK AS SHOWN ON THE CONSTRUCTION DOCUMENTS. SUBMISSION OF A BID PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE AND LATER CLAIMS FOR MOBILIZATION, LABOR, EQUIPMENT, AND/OR MATERIALS REQUIRED BECAUSE OF DIFFICULTIES ENCOUNTERED WILL NOT BE RECOGNIZED.
- 2. THE ELECTRICAL CONTRACTOR SHALL EXAMINE THE DRAWINGS OF ALL TRADES WHOSE WORK RELATES TO OR IS DEPENDENT ON ELECTRICAL WORK TO BECOME FULLY INFORMED OF THE EXTENT AND CHARACTER OF THEIR SPECIFIED WORK AND BE ABLE TO COORDINATE IT WHILE AVOIDING POSSIBLE INTERFERENCE WITH THE ELECTRICAL WORK.
- 3. IT IS THE INTENTION OF THESE SPECIFICATIONS AND DRAWINGS TO CALL FOR FINISHED WORK, TESTED AND READY FOR OPERATION. WHEREVER THE WORD "PROVIDE" IS USED, IT SHALL MEAN "FURNISH AND INSTALL COMPLETE AND READY FOR USE." "REPLACE" SHALL MEAN TO PUT NEW IN PLACE OF EXISTING. THE ARCHITECTURAL GENERAL AND SPECIAL CONDITIONS FOR THE WORK OF THIS PROJECT AND BASE BUILDING SPECIFICATIONS SHALL BE PART OF THE ELECTRICAL SPECIFICATIONS. THE ELECTRICAL CONTRACTOR SHALL EXAMINE THE GENERAL AND 24. NEUTRALS, RACEWAYS, AND NON-CURRENT CARRYING PARTS OF ELECTRICAL SPECIAL CONDITIONS BEFORE SUBMITTING A BID.
- 4. ALONGSIDE SUBMISSION OF THE BID, THE ELECTRICAL CONTRACTOR SHALL GIVE WRITTEN NOTICE TO THE ARCHITECT/ENGINEER OF ANY NECESSARY ITEMS OR WORK THAT HAVE BEEN OMITTED FROM THE DRAWINGS OR SPECIFICATIONS. IN THE ABSENCE OF SUCH WRITTEN NOTICE, IT IS MUTUALLY AGREED THAT THE ELECTRICAL CONTRACTOR HAS INCLUDED THE COST OF ALL REQUIRED ITEMS IN HIS BID, AND THAT THE ELECTRICAL CONTRACTOR WILL BE RESPONSIBLE FOR THE APPROVED SATISFACTORY FUNCTIONING OF THE ENTIRE SYSTEM WITHOUT EXTRA COMPENSATION.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE AND SATISFACTORY ELECTRICAL INSTALLATION IN ACCORDANCE WITH THE TRUE INTENT OF THE DRAWINGS AND SPECIFICATIONS. HE SHALL PROVIDE, WITHOUT EXTRA CHARGE. ALL INCIDENTAL ITEMS REQUIRED. AS A PART OF THIS ELECTRICAL INSTALLATION THE INSTALLATION SHALL BE SO MADE THAT ITS SEVERAL COMPONENT PARTS WILL FUNCTION TOGETHER AS A WORKABLE SYSTEM AND SHALL BE LEFT WITH ALL PARTS ADJUSTED AND IN WORKING ORDER.
- 6. ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL LOCAL FEES, PERMITS, AND SERVICES OF INSPECTION AUTHORITIES REQUIRED BY ELECTRICAL WORK FOR THIS ELECTRICAL CONSTRUCTION. FILE ALL NECESSARY PLANS. PREPARE ALL DOCUMENTS, AND OBTAIN ALL NECESSARY APPROVALS REQUIRED BY ALL GOVERNMENTAL DEPARTMENTS HAVING JURISDICTION. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL REMAIN EXPOSED TO VIEW UNTIL APPROVED BY THE INSPECTION AUTHORITY.
- 7. ELECTRICAL CONTRACTOR SHALL FULLY COORDINATE WITH OWNER REPRESENTATIVES. ALL ELECTRICAL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM WITH LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, NTERNATIONAL BUILDING CODE, LOCAL BUILDING AND FIRE DEPARTMENT REQUIREMENTS. PERFORM WORK IN ACCORDANCE WITH REQUIREMENTS OF OWNER REPRESENTATIVE.
- 8. ELECTRICAL CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER OF ANY CHANGES REQUIRED BY THE BUILDING MANAGEMENT AND TENANT REPRESENTATIVES.
- 9. BEFORE STARTING WORK, ELECTRICAL CONTRACTOR SHALL PREPARE AND SUBMIT TO THE ARCHITECT/ENGINEER FIVE (5) SETS OF SHOP DRAWINGS, BROCHURES, INSTALLATION INSTRUCTIONS. AND DESCRIPTIVE EQUIPMENT DATA RELATED TO SPECIFIED EQUIPMENT. WIRING DEVICES. AND ACCESSORIES FOR APPROVAL. ELECTRONIC SUBMITTALS (PDF OR SIMILAR) ARE ACCEPTABLE WITH PRIOR APPROVAL FROM THE ARCHITECT. THE CONTRACTOR SHALL IDENTIFY ANY "LONG LEAD TIME" ITEMS WHICH MAY IMPACT THE OVERALL PROJECT SCHEDULE. ALL BIDS SHALL INCLUDE COSTS ASSOCIATED WITH THE PURCHASE AND DELIVERY OF EQUIPMENT TO MEET THE PROJECT SCHEDULE. NO EQUIPMENT SHALL BE ORDERED, PURCHASED, OR INSTALLED PRIOR TO THE APPROVAL OF SHOP DRAWINGS, BROCHURES, INSTALLATION INSTRUCTIONS, AND SCHEDULES. APPROVAL BY THE ARCHITECT/ENGINEER IS INTENDED TO ESTABLISH CONFORMANCE WITH THE PROJECT DESIGN CONCEPT AND THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS.
- 10. THE NAMING OF THE MANUFACTURER OR BRAND WITH CATALOG NUMBER OR OTHER PRODUCT IDENTIFICATION WITHOUT THE WORDS "OR EQUAL" IN THE SPECIFICATIONS OR NOTES SHALL INDICATE THAT IT IS THE ONLY PRODUCT APPROVED FOR PURCHASE. IF THE WORDS "OR EQUAL" ARE USED THEY SHALL BE INTERPRETED AS ESTABLISHING A QUALITY OR PERFORMANCE STANDARD FOR HE MATERIAL OR PRODUCT TO BE PURCHASED. THIS SHALL INDICATE THAT THE ELECTRICAL CONTRACTOR IS NOT RESTRICTED TO THE USE OF THE NAMED AND IDENTIFIED PRODUCT IF A SUBSTITUTE APPROVED BY THE ARCHITECT/ENGINEER IS AVAILABLE. HOWEVER, WHERE A SUBSTITUTION IS REQUESTED, IT WILL BE PERMITTED ONLY WITH THE WRITTEN APPROVAL OF THE ARCHITECT/ENGINEER. NO SUBSTITUTE MATERIAL OR PRODUCT SHALL BE ORDERED, FABRICATED, SHIPPED OR PROCESSED IN ANY MATTER PRIOR TO THE APPROVAL OF THE ARCHITECT/ENGINEER. THE ELECTRICAL CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ADDITIONAL EXPENSES AS REQUIRED MAKING CHANGES FROM 33. FIRE RESISTIVE WALLS AND PARTITIONS MAY HAVE OPENINGS FOR STEEL THE ORIGINAL MATERIAL OR PRODUCT SPECIFIED.
- 11. THE ELECTRICAL DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENER/ RRANGEMENT OF ELECTRICAL WORK. LOCATIONS ARE APPROXIMATE AND SHALL BE SUBJECT TO MINOR MODIFICATIONS AS DIRECTED BY THE GENERAL CONTRACTOR AND OWNER REPRESENTATIVES. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXACT FITTING OF ALL MATERIALS, EQUIPMENT, ETC., IN THE BUILDING AND TENANT SPACE. ALL DIMENSIONS SHALL BE VERIFIED ON THE
- 12. DRAWINGS SHALL NOT BE SCALED FOR ROUGH-IN MEASUREMENTS OR USED AS SHOP DRAWINGS, WHERE DIMENSIONS ARE SHOWN ON PLANS OR DETAILS. THESE DIMENSIONS ARE TO BE FIELD-VERIFIED BY THE ELECTRICAL CONTRACTOR AGAINST EXISTING FIELD CONDITIONS. INSTALLATION REQUIREMENTS OF OTHER TRADES. AND THE MANUFACTURER'S SUBMITTALS FOR EQUIPMENT TO BE INSTALLED. SHOULD ANY CONFLICTS ARISE WHICH CANNOT BE EASILY RESOLVED IN THE FIELD WITHOUT CHANGING THE DESIGN INTENT, THE ELECTRICAL CONTRACTOR SHALL NOTIFY THE FNGINEER IMMEDIATELY.
- 13. WHILE ALL WORK IS IN PROGRESS, EXCEPT FOR SHORT DESIGNATED INTERVAL DURING WHICH CONNECTIONS ARE TO BE MADE, CONTINUITY OF SERVICE TO ALL EXISTING SYSTEMS SERVING OCCUPIED SPACES SHALL BE MAINTAINED. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH OWNER AT ALL TIMES FOR ALL NEW-TO-EXISTING CONNECTIONS, SYSTEM SHUTDOWNS, AND RESTART-UP.
- 14. ANY WORK WHICH WILL AFFECT THE BUILDING OCCUPANTS, INCLUDING, BUT NOT LIMITED TO WORK WHICH GENERATES EXCESSIVE NOISE, DUST, SMOKE, OR INCONVENIENCE TO BUILDING OCCUPANTS, SHALL BE PERFORMED AFTER BUSINESS HOURS. UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE BUILDING MANAGER OR OWNER.
- 15. ELECTRICAL ITEMS AFFECTED BY REMODEL WORK ARE SHOWN ON DRAWINGS ALONG WITH EXISTING ELECTRICAL INSTALLATION SHOWN WITH LIGHT LINE WEIGHT. EXISTING ELECTRICAL INSTALLATION SHOWN IS NOT NECESSARILY ALL-INCLUSIVE. RETAIN CIRCUIT CONTINUITY FOR EXISTING ELECTRICAL EQUIPMENT, FIXTURES, AND DEVICES THAT ARE TO REMAIN. SUCH EQUIPMENT SHALL BE RECONNECTED TO EXISTING CIRCUITS OR CONNECTED TO NEW CIRCUIT(S) AS INDICATED ON DRAWINGS. ENSURE ALL ELECTRICAL DEVICES IN WORK AREA ARE FULLY FUNCTIONAL. FOR DEVICES OR JUNCTION BOXES LOCATED IN WALLS, THAT MUST REMAIN IN PLACE FOR CIRCUIT CONTINUITY, PROVIDE BLANK COVER PLATES TO MATCH WALL PLATES STYLE IN THE AREA OF WORK. FOR ALL OTHER UNUSED JUNCTION BOXES, REMOVE WIRING AND PROVIDE BLANK COVER PLATE, OR COORDINATE WITH GENERAL CONTRACTOR FOR PATCHING OF WALL TO MATCH ADJACENT SURFACE AS DIRECTED BY ARCHITECT. WHERE EXISTING DEVICES CONFLICT WITH NEW WALL CONSTRUCTION, RELOCATE EXISTING DEVICE AND REWORK CIRCUITRY AS REQUIRED TO MAINTAIN CIRCUIT CONTINUITY. DEVICES MAY ONLY BE REMOVED WITH PRIOR APPROVAL FROM THE DESIGN TEAM AND BUILDING MANAGEMENT. COORDINATE FINAL DIRECTIONS WITH ARCHITECT PRIOR TO DEMOLITION.
- 16. REPORT ANY EXISTING DAMAGED EQUIPMENT OR SYSTEMS TO THE OWNER PRIOR TO BEGINNING THE PROJECT.
- 17. BEFORE ANY EQUIPMENT IS INSTALLED, DETERMINE THAT SAID EQUIPMENT WILL PROPERLY FIT WITHIN THE SPACE ALLOCATED. INSTALL ALL EQUIPMENT AND MATERIALS IN SUCH A MANNER AS TO PROVIDE REQUIRED ACCESS FOR SERVICING ND MAINTENANCE. ALLOW AMPLE SPACE FOR REMOVAL OF ALL PARTS THAT REQUIRE REPLACEMENT OR SERVICING.
- 18. MINIMUM WORKING CLEARANCES PER THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE SHALL BE PROVIDED AROUND AND IN FRONT OF ALL ELECTRICAL EQUIPMENT.
- 19. ALL CIRCUIT BREAKER LUGS SHALL BE RATED FOR A MINIMUM OF 75 DEGREES CELSIUS.

- 20. ALL MATERIALS AND EQUIPMENT SHALL BE NEW, UNDAMAGED, BEAR THE UL LABEL WHERE APPLICABLE, AND BE AS SPECIFIED FOR USE IN EACH SPECIFIC LOCATION. ANY INCIDENTAL ACCESSORIES NECESSARY TO COMPLETE THE WORK IN ALL RESPECTS AND MAKE IT READY FOR OPERATION. EVEN IF NOT SPECIFICALLY SPECIFIED, SHALL BE FURNISHED, DELIVERED, AND INSTALLED BY THE ELECTRICAL CONTRACTOR WITHOUT ADDITIONAL EXPENSE TO THE CLIENT.
- 21. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR THE PROPER INSTALLATION AND OPERATION OF A SYSTEM OR EQUIPMENT, SHALL BE INCLUDED IN THE ELECTRICAL CONTRACTOR'S ESTIMATE, AS IF SPECIFIED HEREIN OR SHOWN.
- 22. ALL NEW, RELOCATED AND EXISTING MATERIALS, IN CEILING PLENUMS NOT ENCLOSED IN CONDUIT SHALL HAVE CLASS, FLAME SPREAD AND SMOKE DEVELOPMENT RATINGS AS REQUIRED FOR USE IN OPEN PLENUMS. REMOVE AND REPLACE ALL EXISTING MATERIALS IN WORK AREA NOT IN COMPLIANCE.
- 23. COORDINATE THE INSTALLATION OF ELECTRICAL MATERIALS AND EQUIPMENT ABOVE AND BELOW CEILINGS WITH SUSPENSION SYSTEM, MECHANICAL EQUIPMENT, AND OTHER BUILDING COMPONENTS. ALL COMPONENTS SHALL BE LOCATED AS TIGHT TO STRUCTURE AS POSSIBLE. COORDINATE CEILING CAVITY SPACE CAREFULLY WITH ALL TRADES.
- EQUIPMENT AND ASSOCIATED ENCLOSURES SHALL BE GROUNDED IN FULL ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. PROVIDE HARD WIRE GROUND CONNECTIONS TO ALL DEVICES AND SEPARATE, CONTINUOUS, INSULATED GROUND WIRE IN EACH CIRCUIT (#12 CU MINIMUM "GREEN" TRACER GROUND). COORDINATE EQUIPMENT GROUNDING CONDUCTOR WIRE SIZE WITH MANUFACTURER REQUIREMENTS.
- 25. CONDUIT JOINTS SHALL BE CUT SQUARE, THREADED, REAMED SMOOTH, AND DRAWN UP TIGHT. BENDS OR OFFSETS SHALL BE MADE WITH AN APPROVED BENDER OR HICKEY, OR HUB-TYPE CONDUIT FITTINGS. THE NUMBER OF BENDS PER RUN SHALL CONFORM TO THOSE STATED IN CURRENT NEC.
- 26. WHERE POSSIBLE ALL WIRING SHALL BE RUN CONCEALED. ALL HOME RUNS SHALL BE EMT. CONCEALED CONDUIT SYSTEMS SHALL BE RUN IN A DIRECT LINE WITH LONG SWEEP BENDS AND AND OFFSETS. EXPOSED CONDUIT RUNS SHALL BE PARALLEL TO AND AT RIGHT ANGLES TO BUILDING LINES, USING CONDUIT FITTINGS FOR ALL TURNS AND OFFSETS. ALL EMPTY CONDUITS SHALL BE SUPPLIED WITH PULL WIRES AND BUSHINGS.
- 27. "MC" AND "AC" TYPE CABLE WITH INTERNAL GROUND WIRES SHALL BE PERMITTED FOR BRANCH CIRCUIT WIRING WHERE APPROVED IN WRITING BY BUILDING MANAGEMENT AND THE LOCAL AHJ ONLY AND INSTALLED PER NATIONAL ELECTRICAL CODE AND LOCAL BUILDING DEPARTMENT REQUIREMENTS. USE LISTED AND APPROVED TYPE COUPLINGS AND CONNECTORS. PROVIDE CONDUIT SUPPORTS AS REQUIRED BY THE NATIONAL ELECTRICAL CODE AS A MINIMUM.
- 28. ALL ROOF PENETRATIONS SHALL BE SEALED WATER TIGHT, PROVIDE FLASHING AND COUNTER FLASHING AS REQUIRED. COORDINATE ROOFING WORK WITH THE GENERAL CONTRACTOR.
- 29. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION AND PULL BOXES TO PROVIDE ACCESS POINTS FOR PULLING AND FEEDING CONDUCTORS INTO A RACEWAY SYSTEM. JUNCTION AND PULL BOXES AND THEIR COVERS SHALL BE FORMED FROM SHEET STEEL AND SHALL BE FINISHED IN GRAY ENAMEL PAINT. BOXES SHALL BE IN INDUSTRY STANDARD SIZES. OUTLET BOXES WITH THE CORRECT FITTING FOR THE APPLICATION SHALL BE LOCATED AT EACH CONDUCTOR SPLICE POINT, AT EACH OUTLET, SWITCH POINT, OR JUNCTION POINT, AND AT EACH PULL POINT FOR THE CONNECTION OF CONDUIT AND OTHER RACEWAYS. OUTLET BOXES FOR CONCEALED WIRING SHALL BE MADE FROM GALVANIZED OF CADMIUM-PLATED SHEET STEEL, AND THEY SHALL HAVE A DEPTH OF AT LEAST 1.5 INCHES. WHETHER SINGLE OR GANGED. THE BOXES SHALL BE LARGE ENOUGH SIZE TO ACCOMMODATE THE NUMBER OF WIRING DEVICES AND CONDUCTORS AS SPECIFIED IN THE FILL SCHEDULE OF THE CURRENT NEC. SECURE BOXES WITH MOUNTING BRACKET, BRACES, HANGER OR BOX MOUNTING SUPPORT.
- 30. ALL NEW SWITCHES, POWER OUTLETS, TELEPHONE OUTLETS, FIRE ALARM DEVICES, AND COMMUNICATIONS OUTLETS SHALL MEET THE REQUIREMENTS FOR AMERICANS WITH DISABILITIES (A.D.A) MOUNTING HEIGHTS AND ORIENTATIONS, TYPICAL UNLESS OTHERWISE NOTED. RECEPTACLES SHALL BE A MINIMUM OF 15" A.F.F. AND SWITCHES A MAXIMUM OF 48" A.F.F. TO CENTERLINE, TYPICAL UNLESS OTHERWISE NOTED.
- 31. ALL WALL MOUNTED OUTLETS SHALL BE OFFSET SO THEY ARE NOT BACK TO BACK, FOR SOUND TRANSMISSION PURPOSES. A HORIZONTAL DISTANCE OF AT LEAST 6 INCHES SHALL SEPARATE OUTLET BOXES ON OPPOSITE SIDES OF WALLS AND PARTITIONS. MOUNT ELECTRICAL AND COMMUNICATIONS OUTLETS ON WALLS AS CLOSE TOGETHER AS POSSIBLE.
- VIRING DEVICES SHALL BE SPECIFICATION GRADE MINIMUM DEVICE RATING SHALL BE 20 AMPS FOR ALL WIRING DEVICES UNLESS SPECIFICALLY NOTED OTHERWISE. DEVICES WITH DEDICATED CIRCUITS SHALL BE RATED AS REQUIRED BY CIRCUIT LOAD. ISOLATED GROUND RECEPTACLES SHALL BE ORANGE. MATCH COLOR AND O EXISTING BUILDING STANDARD. PROVIDE MATCHING NYLON COVER PLATES FOR ALL OUTLETS. ELECTRICAL CONTRACTOR SHALL VERIFY ALL OUTLETS WITH ARCHITECTURAL PLANS AND TENANT BEFORE ORDERING AND PURCHASING OF MATERIALS.
- FLECTRICAL OUTLET BOXES NOT EXCEEDING 16 SQUARE INCHES IN AREA PROVIDED THE AGGREGATE AREA OF SUCH OPENINGS IS NOT MORE WITH THAN 100 SQUARE INCHES FOR ANY 100 SQUARE FEET OF WALL. A HORIZONTAL DISTANCE OF AT LEAST 24 INCHES SHALL SEPARATE OUTLET BOXES ON OPPOSITE SIDES OF FIRE RESISTIVE WALLS AND PARTITIONS.
- 34. ALL JUNCTION BOX COVERS SHALL BE INDELIBLY LABELED WITH PANEL DESIGNATION AND BRANCH CIRCUIT NUMBER OF EACH WIRE WITHIN THE JUNCTION
- 35. ALL WIRING SHALL BE COPPER, TYPE THHN OR THWN INSULATION, UNLESS SPECIFICALLY NOTED OTHERWISE. MINIMUM SIZE SHALL BE #12 AWG. CONDUCTORS SHALL BE FACTORY COLOR-CODED WITH WIRE COLOR CODING AS REQUIRED BY THE NATIONAL ELECTRICAL CODE AND USING STANDARD CONDUCTOR COLOR CODES:

120/20	8 VOLTS:	277/48	30 VOLTS:
A:	BLACK	A:	BROWN
B:	RED	B:	ORANGE
C:	BLUE	C:	YELLOW
NEU:	WHITE	NEU:	GRAY
GND:	GREEN	GND:	GREEN
ISO. G:	GREEN W/YELLOW	STRIPE	

- 36. RECEPTACLES FOR COMPUTERS, COPIERS, AND PRINTERS, WHICH ARE SEMI-DEDICATED, DEDICATED, OR ISOLATED, SHALL HAVE A SEPARATE NEUTRAL AND DEDICATED GROUND CONDUCTOR RUN FROM THE BRANCH CIRCUIT PANEL
- 37. ALL JOINTS OR SPLICES FOR 10 AWG. CONDUCTORS OR SMALLER SHALL BE MADE WITH UL-APPROVED WIRE NUTS, OR COMPRESSION-TYPE CONNECTORS.
- 38. ALL JOINTS OR SPLICES FOR CONDUCTORS 8 AWG AND LARGER SHALL BE MADE WITH A MECHANICAL COMPRESSION OR BOLTED CONNECTOR. AFTER THE CONDUCTORS HAVE BEEN MADE MECHANICALLY AND ELECTRICALLY SECURE, THE ENTIRE JOINT OR SPLICE SHALL BE COVERED WITH 3M SCOTCH BRAND NO. 3 TAPE OR APPROVED EQUAL. TO MAKE THE INSULATION VALUE AT THE JOINT OR SPLICE EQUAL TO THE VALUE OF THE CONDUCTOR INSULATION. ALL CONNECTORS SHALL BE UL APPROVED.
- 39. ALL NEW MULTI-WIRE BRANCH CIRCUITS SHALL INCLUDE SEPARATE NEUTRAL CONDUCTORS OR BREAKER TIES AS REQUIRED BY CURRENT NEC SECTION 210.4
- 40. VOLTAGE DROP: THE ELECTRICAL CONTRACTOR SHALL ENSURE THAT VOLTAGE DROP FOR FEEDERS TO DISTRIBUTION EQUIPMENT DOES NOT EXCEED 2% AND VOLTAGE DROP IN BRANCH CIRCUITING DOES NOT EXCEED 3% FOR OVERALL VOLTAGE DROP OF 5% (MAXIMUM). FEEDERS LISTED ON SCHEDULES AND THE ELECTRICAL ONE-LINE DIAGRAM ARE A BASE FEEDER/BRANCH CIRCUIT SIZE AND SHALL BE ADJUSTED AS NEEDED BASED ON ACTUAL LENGTHS OF CONDUCTORS.
- ELECTRICAL CONTRACTOR SHALL UP SIZE SHARED NEUTRAL CONDUCTOR WITHIN FURNITURE SYSTEMS TO A #10 AWG CU CONDUCTOR. ELECTRICAL CONTRACTOR TO CONSIDER THE NEUTRAL CONDUCTOR AS A CURRENT CARRYING CONDUCTOR WHEN FEEDING ELECTRONIC LOADS.
- 42. ALL LIGHT FIXTURES SHALL BE SUPPORTED INDEPENDENTLY FROM STRUCTURE. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF LIGHT FIXTURES AND ELECTRICAL DEVICES.
- 43. FOR ALUMINUM CONDUCTOR TERMINATIONS, ALUMINUM BI-METALLIC PIN CONNECTORS ARE REQUIRED UNLESS COMPACT CONDUCTORS ARE USED. THESE ONNECTORS SHALL BE UL LISTED PER UL 486B AND RATED FOR USE UP TO 600V AND TEMPERATURE UP TO 90'C. CONNECTORS SHALL BE INSTALLED WITH MANUFACTURER'S SPECIFIED CRIMPING TOOLS AND DIES.
- 44. INSTALLATION IN AREAS OF DRYWALL CEILING SHALL BE COORDINATED SUCH THAT

FIRE ALARM SYSTEM

ACCESS PANELS ARE NOT REQUIRED. ELEMENTS REQUIRING ACCESS SHALL BE LOCATED IN THE AREAS OF ACCESSIBLE CEILING OR IN THE LOCATIONS COORDINATED WITH ARCHITECT. ACCESS PANELS REQUIRED WITHIN DRYWALL CEILINGS SHALL BE INSTALLED SYMMETRICALLY WITH OTHER PANELS OR DEVICES AND SHALL BE MINIMUM SIZE REQUIRED. "MUD-IN" TYPE, AND FIRE RATED, IF REQUIRED. ACCESS PANELS IN FIRE-RATED WALLS AND CEILINGS SHALL HAVE PROPER UL LABEL AND FIRE RATING LISTING.

45. WALL AND CEILING ROUGH-IN INSTALLATIONS FOR LOW-VOLTAGE CONTROL WIRING OF ANY TYPE SUCH AS DATA/TELECOMMUNICATIONS WIRING, FIRE ALARM WIRING, HVAC CONTROL WIRING, SECURITY SYSTEMS WIRING, TV CABLING, OPTICAL FIBER CABLING, ETC., SHALL BE COMPLETE AND READY FOR INSPECTION AT THE TIME ELECTRICAL ROUGH-IN INSPECTIONS ARE REQUESTED. ALL SHARP EDGES. CONDUIT ENDS AND METAL STUDS, ETC. FOR LOW-VOLTAGE CABLING SHALL BE PROTECTED BY INSULATED BUSHINGS OR GROMMETS AND SECURELY FASTENED IN THE OPENINGS FOR THE WALL ROUGHT-IN INSPECTIONS. WORK SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER (GROUPED CABLES ROUTED WITH SQUARE CORNERS AND PARALLEL TO BUILDING LINES.) CABLES SHALL BE INSTALLED PER NEC REQUIRED SEPARATIONS AND SUPPORTED FROM THE BUILDING STRUCTURE. CABLE TIES USED IN DUCTS. PLENUMS, AND OTHER AIR-HANDLING SPACES ARE REQUIRED TO HAVE A TESTING LABORATORY LISTING NUMBER AND LABEL ON EACH UNOPENED PACKAGE AS BEING APPROVED FOR USE IN THESE

46. COORDINATE MOUNTING HEIGHTS AND LOCATIONS OF ALL ELECTRICAL DEVICES LOCATED WITHIN, ABOVE, OR NEAR MILLWORK WITH ARCHITECTURAL DRAWINGS, APPROVED "SHOP DRAWINGS". AND MILLWORK CONTRACTOR. MAINTAIN CONSISTENT MOUNTING PRACTICES FOR A UNIFORM APPEARANCE. VERIFY ALL OUTLET REQUIREMENTS PRIOR TO ROUGH IN.

LOCATIONS.

OTHERWISE.

AND (2).

47. ELECTRICAL CONTRACTOR SHALL COORDINATE EXACT LOCATIONS OF LIGHTING FIXTURES IN MECHANICAL ROOMS/SPACES WITH MECHANICAL DUCT WORK INSTALLER PRIOR TO ROUGH IN. LOCATE BELOW DUCT WORK (8'-0" A.F.F. MIN.) CENTERED IN ROOM AS MUCH AS POSSIBLE.

18. ELECTRICAL CONTRACTOR SHALL COMPLY WITH NEC AND LOCAL CODES FOR CONDUIT FILL REQUIREMENTS DEPENDING ON WIRE SIZES, QUANTITY, AND CORRECTION FACTORS. COORDINATE WITH LOCAL AUTHORITY HAVING JURISDICTION IF UPGRADE OF THE EXISTING ELECTRICAL INSTALLATION IS REQUIRED. THIS UPGRADE MAY INCLUDE REPLACEMENT OF THE EXISTING CONDUITS AND WIRING AFFECTED BY SCOPE OF THIS PROJECT TO ACCOMMODATE CURRENT CODE CONDUIT FILL AND CORRECTION REQUIREMENTS. INCLUDE COST ASSOCIATED WITH THIS UPGRADE IN THE BID.

49. ELECTRICAL CABINETS AND ENCLOSURES LOCATED IN PUBLIC AREAS SHALL BE LOCKABLE TYPE.

50. PENETRATIONS THROUGH STRUCTURAL MEMBERS SHALL NOT BE PERMITTED WITHOUT SPECIFIC WRITTEN PERMISSION FROM STRUCTURAL ENGINEER AND ARCHITECT. SUBMIT REQUESTS FOR PENETRATIONS TO ARCHITECT FOR REVIEW AND DISPOSITION. PRIOR TO CORE, DRILLING THROUGH FLOORS, VERIFY CLEARANCE OF BEAMS, DUCTWORK, ETC IN CEILING SPACE BELOW, AND X-RAY FOR CONDUIT AND/OR REBAR IN SLAB. COORDINATE WITH BUILDING MANAGEMENT/OWNER TO INFORM TENANT BELOW FOR SCHEDULING OF CORE DRILLING AND TO ADVICE CONCERNING PROTECTION FOR ANY SENSITIVE EQUIPMENT PRIOR TO COMMENCEMENT OF WORK. ALL X-RAYS AND CORE DRILLS MUST BE SCHEDULED FOR AFTER HOURS UNLESS BUILDING MANAGEMENT/OWNER AUTHORIZES OTHERWISE.

RACEWAYS SHALL BE PROVIDED WITH EXPANSION FITTINGS WHERE NECESSARY TO COMPENSATE FOR THERMAL EXPANSION AND CONTRACTION, AND TO ALLOW FOR MINOR MOVEMENT OF THE STRUCTURAL ELEMENTS OF THE BUILDING EXPANSION FITTINGS FOR METAL RACEWAYS SHALL BE MADE ELECTRICALLY CONTINUOUS BY EQUIPMENT BONDING JUMPERS OR OTHER MEANS.

52. PROVIDE TYPEWRITTEN, UPDATED PANELBOARD DOOR DIRECTORIES FOR ALL AFFECTED PANELS PER NEC 408.4. REFLECTING ACCURATE BRANCH CIRCUIT DESTINATIONS. CLEARLY MARK JUNCTION BOXES IN CEILING SPACE WITH PANEL DESIGNATIONS AND CIRCUIT NUMBERS. PROVIDE NEW ENGRAVED PLASTIC LABELS TO REPLACE ANY DAMAGED MISLABELED. TEMPORARY OR OTHERWISE ILLEGIBLE EXISTING IDENTIFICATION LABELS FOR DISTRIBUTION EQUIPMENT AFFECTED BY THIS CONTRACT. ATTACH THESE LABELS PERMANENTLY TO EQUIPMENT WITH RIVETS OR SCREWS. ALL PANEL SCHEDULES SHALL INDICATE THE NAME OF THE UPSTREAM PANEL OR SWITCHBOARD PROVIDING POWER.

53. CLEAN EXPOSED PANEL BOARD SURFACES AND CHECK TIGHTNESS OF ELECTRICAL CONNECTIONS. REPLACE DAMAGED CIRCUIT BREAKERS AS REQUIRED AND PROVIDE CLOSURE PLATES FOR VACANT SPACES. ALL NEW PANELS PROVIDED UNDER THIS CONTRACT SHALL BE DOOR-IN-DOOR CONSTRUCTION TYPE, WITH BOLT-ON CIRCUIT BREAKERS AND COPPER BUSSING, UNLESS SPECIFICALLY NOTED

4. PROVIDE FIRE STOPPING MATERIAL AND SYSTEMS AS LISTED IN THE UL FIRE RESISTANCE DIRECTORY EQUAL TO THE FIRE RESISTANCE RATING OF THE RESPECTIVE WALL OR FLOOR ASSEMBLY FOR ALL PENETRATIONS OF CONDUC SLEEVES, WIRING, CABLES AND OTHER ELECTRICAL ITEMS THROUGH FIRE-RATED CORRIDOR WALLS, FIRE RESISTIVE WALLS, FIRE RESISTIVE SHAFTS, AND FLOOR PENETRATIONS.

55. VERIFY ALL SPECIFIC KITCHEN AND BREAK ROOM EQUIPMENT REQUIREMENTS WITH EQUIPMENT SUPPLIER PRIOR TO ROUGH IN. COORDINATION SHALL INCLUDE MOUNTING HEIGHTS, CONNECTION TYPE AND POWER REQUIREMENTS. ALL CONNECTIONS FOR KITCHEN EQUIPMENT SHALL BE IN ACCORDANCE WITH EQUIPMENT MANUFACTURER'S AND SUPPLIER'S RECOMMENDATIONS. PROVIDE CORD AND PLUG FOR DISHWASHERS AND GARBAGE DISPOSER PER NEC 422.16(B)(1)

56. SECURITY: ELECTRICAL CONTRACTOR SHALL COORDINATE EXACT LOCATIONS AND REQUIREMENTS FOR J-BOX ROUGH-INS, CONDUIT RUNS WITH PULL WIRE AND POWER REQUIREMENTS FOR SECURITY SYSTEM WITH SECURITY SYSTEM CONTRACTOR PRIOR TO ROUGH-IN. THE SECURITY SYSTEM CONTRACTOR SHALL ALSO COORDINATE WORK WITH FIRE ALARM CONTRACTOR FOR COORDINATION OF THE INTERCONNECTION OF THE SECURITY SYSTEM WITH FIRE ALARM SYSTEM AS REQUIRED PER LOCAL CODES AND FIRE DEPARTMENT REGULATIONS.

AUDIO-VISUAL EQUIPMENT: ELECTRICAL CONTRACTOR SHALL COORDINATE EXACT LOCATIONS AND REQUIREMENTS FOR J-BOX ROUGH-INS, CONDUIT RUNS WITH PULL WIRE, REQUIRED PENETRATIONS, AND POWER REQUIREMENTS FOR AUDIO-VIDEO EQUIPMENT WITH AUDIO-VIDEO CONTRACTOR PRIOR TO ROUGH-IN.

58. COORDINATE CONTROL OF LUMINAIRES IN BUILDING COMMON CORRIDOR AREAS WITH BUILDING MANAGEMENT.

59. EXISTING LIGHT FIXTURES TO BE RELOCATED: LUMINAIRES SCHEDULED TO BE RELOCATED ARE CONSIDERED AS NEW INSTALLATION AND SHALL BE EITHER RETROFITTED WITH AN INDIVIDUAL DISCONNECTING MEANS WHICH SIMULTANEOUSLY DISCONNECTS ALL BALLAST CONDUCTORS FROM THE SOURCE OF SUPPLY OR RETROFITTED WITH NEW BALLASTS AND LAMP POSTS COMPLYING WITH THE REQUIREMENTS SET IN NEC 410.130 (G). THE ELECTRICAL CONTRACTOR SHALL INCLUDE IN THEIR BID A SEPARATE LINE ITEM COST FOR EACH LUMINAIRE RETROFIT. FIELD VERIFY QUANTITY UPON AWARD OF BID AND ADJUST PRICE ACCORDINGLY.

0. UNLESS OTHERWISE INDICATED ON THE PLANS, ELECTRICAL CONTRACTOR SHALL PROVIDE A #6 STRANDED COPPER INSULATED EQUIPMENT GROUNDING CONDUCTOR AT EACH PERMANENTLY INSTALLED SERVER RACK IN THE PROJECT AREA. THIS EQUIPMENT GROUNDING CONDUCTOR SHALL BE BONDED TO THE RACK STRUCTURE, ROUTED IN A NEAT MANNER AWAY FROM THE RACK AND INTO THE ACCESSIBLE CEILING, AND BONDED TO BUILDING STEEL OR THE COPPER WATER SERVICE, WHICHEVER IS CLOSER.

TYPICAL DETAIL FOR DEVICES AT DOOR LOCATION

GENERAL CONTRACTOR SHALL SOLICIT BIDS FROM BUILDING OWNER'S DESIGNATED FIRE ALARM CONTRACTOR FOR DESIGN AND INSTALLATION OF AN APPROVED FIRE ALARM SYSTEM AND DEVICES WHICH SHALL COMPLY WITH ALL APPLICABLE CODES AND ALL REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. (GENERAL CONTRACTOR SHALL VERIFY WITH BUILDING MANAGEMENT/OWNER CONCERNING DESIGNATED FIRE ALARM CONTRACTOR.)

2. REQUIRED MODIFICATIONS TO EXISTING FIRE ALARM SYSTEM SHALL BE PROVIDED ON A DESIGN/BUILD BASIS BY FIRE ALARM CONTRACTOR. PRIOR TO BIDDING, FIRE ALARM CONTRACTOR SHALL FIELD VERIFY EXISTING FIRE ALARM SYSTEM CAPABILITY AND FIRE ALARM DEVICE LOCATIONS IN THIS SCOPE OF WORK. IF REQUIRED BY LOCAL JURISDICTION, FIRE ALARM SYSTEM SHALL BE UPGRADED TO MEET CURRENT CODES. FIRE ALARM CONTRACTOR SHALL PREPARE AND SUBMIT ALL SHOP DRAWINGS AND EQUIPMENT BROCHURES TO AUTHORITIES HAVING JURISDICTION, SUCH AS FIRE DEPARTMENT, BUILDING DEPARTMENT, ETC., AS REQUIRED, FOR REVIEW AND APPROVAL. CONTRACTOR SHALL ALSO PROVIDE THE ENGINEER WITH ONE (1) SET OF DRAWINGS, CALCULATIONS AND EQUIPMENT SUBMITTALS FOR HIS REVIEW AND RECORD.

IF REQUIRED. RELOCATE EXISTING SMOKE DETECTORS. REMOTE INDICATOR LIGHTS. FIRE ALARM HORNS, STROBES, SPEAKERS, ETC., BASED ON REMODELED AREA MODIFICATION, AND RECONNECT TO EXISTING SYSTEM AS REQUIRED. NEW FIRE ALARM DEVICES SHALL BE OF THE SAME MANUFACTURER AS THE EXISTING DEVICES AND SHALL BE COMPATIBLE WITH EXISTING FIRE ALARM SYSTEM. PROVIDE ADDITIONAL CONDUCTORS, ZAM'S IAM'S AND OTHER EQUIPMENT NECESSARY IN ORDER TO EXPAND SYSTEM AS REQUIRED. PROVIDE SYNCHRONIZING MODULES FOR STROBES. IF REQUIRED, REPLACE EXISTING FIRE ALARM DEVICES THAT ARE NOT CURRENTLY BUILDING STANDARD OR COMPATIBLE WITH NEW BUILDING STANDARD FIRE ALARM DEVICES. PRIOR TO PURCHASING FIRE ALARM DEVICES, PROVIDE CUT SHEETS, SHOP DRAWINGS, AND SEQUENCE OF OPERATION TO BUILDING MANAGEMENT AND FIRE PREVENTION BUREAU FOR THEIR APPROVAL AND TO ENGINEER FOR HIS REVIEW.

4. PROVIDE NEW BUILDING STANDARD FIRE ALARM STROBES, ADA HIGH INTENSITY, COMPATIBLE WITH EXISTING OR NEW FIRE ALARM SYSTEM AS REQUIRED. MODIFY EXISTING FIRE ALARM CIRCUIT CONDUCTORS AND FIRE ALARM PANELS PER COMMUNICATIONS SYSTEMS

ELECTRICAL CONTRACTOR SHALL FULLY FIELD COORDINATE COMMUNICATIONS SYSTEM INSTALLATION (DEVICES AND CABLING) WITH TENANT REPRESENTATIVE PRIOR TO ROUGH IN AND PURCHASING OF MATERIALS.

- 2. AT TELEPHONE AND DATA SERVICE POINT FOR EACH MODULAR FURNITURE GROUPING. THE ELECTRICAL CONTRACTOR SHALL PROVIDE 4" SQUARE DEEP STEEL JUNCTION BOX WITH TWO 1" CONDUITS (OR AS OTHERWISE SPECIFIED ON PLAN. OR BY DATA/TELECOMMUNICATIONS CONTRACTOR) WITH PULL WIRE. STUB CONDUITS ABOVE CEILING LINE AND PROVIDE PLASTIC BUSHINGS ON CONDUIT ENDS. CABLING SHALL BE PULLED AND WIRED BY OTHERS. COORDINATE ALL WORK WITH DATA/TELECOMMUNICATIONS CONTRACTOR PRIOR TO ROUGH-IN.
- 3. ALL DATA AND TELECOMMUNICATIONS CABLING SHALL BE INSTALLED BY TENANT'S VENDOR.
- FOR EACH NEW SINGLE TELEPHONE/DATA OR TV CABLE OUTLET SHOWN MOUNTED IN WALL, ELECTRICAL CONTRACTOR SHALL PROVIDE A 4" SQUARE DOUBLE-GANG STEEL JUNCTION BOX WITH SINGLE-GANG PLASTER RING AND A 3/4" CONDUIT (OR AS OTHERWISE SPECIFIED BY SYSTEM INSTALLER) WITH PULL WIRE. STUB CONDUIT 6 INTO CEILING SPACE AND PROVIDE PLASTIC BUSHINGS. CABLING SHALL BE PULLED BY OTHERS. COORDINATE ALL WORK WITH DATA/TELECOMMUNICATIONS CONTRACTOR PRIOR TO ROUGH-IN.

5. IF REQUESTED, ELECTRICAL CONTRACTOR SHALL REMOVE ALL ABANDONED AND UNUSED DATA/TELECOMMUNICATIONS CABLING, CONDUIT, JUNCTION BOXES, AND RECORD DOCUMENTS

- RECORD DOCUMENTS: THE ELECTRICAL CONTRACTOR SHALL MAINTAIN ACCURATE RECORDS OF ALL DEVIATIONS IN WORK AS INSTALLED FROM WORK SPECIFIED ON THE DRAWINGS OR IN THE SPECIFICATIONS AND IDENTIFY ORIGIN OF CHANGE.
- KEEP A COMPLETE SET OF RECORD DOCUMENT PRINTS IN CUSTODY DURING ENTIRE PERIOD OF CONSTRUCTION AT THE CONSTRUCTION SITE. ON COMPLETION OF THE PROJECT, TWO COMPLETE SETS OF MARKED-UP PRINTS SHOWING THESE DEVIATIONS SHALL BE DELIVERED TO GENERAL CONTRACTOR AND ARCHITECT/ENGINEER. THIS CONTRACT WILL NOT BE CONSIDERED COMPLETED UNTIL THESE RECORD DRAWINGS HAVE BEEN RECEIVED AND REVIEWED BY THE ENGINEER.

ELECTRICAL SYMBOLS LEGEND

LIGHTING SYMBOL DESCRIPTION SURFACE | RECESSED SHADING INDICATES CONNECTION TO EMERGENCY CIRCUIT OR 90-MINUTE BATTERY BACKUF Ο 2'x4' FLUORESCENT LIGHT FIXTURE \square ρ 2'x2' FLUORESCENT LIGHT FIXTURE 0 \sim 1'x4' FLUORESCENT LIGHT FIXURE WALL CEILING S ↑ EXIT SIGN EMERGENCY BATTERY PACK X FIXTURF SYMBOL DESCRIPTION SYMBOL DESCRIPTION FLUORESCENT PENDAN' **I-O-I** STRIP FIXTURE FIXTURE UNDER CABINET FLUORESCENT WALL BRACKET FIXTURE PENDANT DOWNLIGHT \bigcirc Ο FIXTURE FIXTURE WALL MOUNTED WALLWASH 0-Ю FIXTURE FIXTURE POLE MOUNTED <u>م</u> OUTDOOR FIXTURE COMBINATION LIGH REMOTE O COMBINATION LIGHT AND EXHAUST FAN ð EMERGENC LIGHT HEAD PHOTOCELL SWITCHING SYMBOL DESCRIPTION SYMBOL DESCRIPTION **S** SINGLE POLE SWITCH **S**D DIMMER SWITCH **S**₂ DOUBLE POLE SWITCH **S**_K KEYED SWITCH **S**3 THREE WAY SWITCH **S**TO THERMAL OVERLOAD SWITCH **S**⁴ FOUR WAY SWITCH **S**⁵ GANGED SWITCHES WALL CEILING SM OCCUPANCY SENSOR FOR LIGHTING CONTROLS ABBREVIATIONS ABBR. DESCRIPTION AFF ABOVE FINISHED FLOOR ABOVE COUNTER GROUND FAULT CIRCUIT INTERRUPTER

GND GROUND

WP

EM

HD

TR

ISOLATED GROUND

RELOCATED DEVICE OR EQUIPMENT

NIGHT LIGHT

WEATHER PROOF

EMERGENCY

HEAVY DUTY

TAMPER RESISTANT

POWER SYMBOL DESCRIPTION WALL | CEILING | FLOOR Ю J J JUNCTION BOX DUPLEX RECEPTACLE DEDICATED DUPLEX RECEPTACLE DOUBLE DUPLEX RECEPTACLE DEDICATED DOUBLE RECEPTACLE PECIAL PURPOSE RECEPTACLE COVER PLATE CONTACTOR SIMPLEX RECEPTACLE SURFACE RECESSED NEW ELECTRICAL Ð EXISTING ELECTRICAL DEMO ELECTRICAL PANEL SYMBOL DESCRIPTION SYMBOL DESCRIPTION DISCONNECT, DISCONNECT Ъ Ъ NON FUSED FUSED GROUND BAR PB PULLBOX M **F** MOTOR TRANSFORMER TC TIMECLOCK M METER (WH) WATER HEATER SWITCHBOARD PP COMBINATIO POWER POLE POWFR/COM FLOOR BOX COMMUNICATION SYMBOL DESCRIPTION WALL | CEILING | FLOOR OMBINATION DATA V_{CLG.} V TELEPHONE OUTLET ∇ CRT OR DATA OUTLET ∇_{CLG} Ø TELEPHONE OUTLET $\mathbf{\Phi}$ TV OUTLET CIRCUITING SYMBOL DESCRIPTION HOMERUN, SOLID 120/208 V, OPEN 277/480 V CIRCUIT; RUN CONCEALED IN WALL OR CEILING CIRCUIT: RUN CONCEALED - - - -IN FLOOR OR GRADE CONDUIT RISER; TURNED UP, **___**0 **___**

FURNED DOWN

MANUFACTURER'S REQUIREMENTS. MOUNT STROBES +80" A.F.F OR 6" BELOW THE CEILING. WHICHEVER IS LOWER. REPLACE EXISTING STROBE LIGHTS WITH NEW BUILDING STANDARD STROBE LIGHTS, AND ENSURE ALL STROBE LIGHTS ARE SYNCHRONIZED.

- 5. FIRE ALARM CONTRACTOR SHALL FURNISH DUCT DETECTORS (120V OR 24V), WITH REMOTE INDICATING LIGHT AND TEST SWITCH. FOR ALL MECHANICAL AIR-MOVING SYSTEMS WHERE REQUIRED BY CODE OR LOCAL AUTHORITIES. DETECTORS SHALL BE OF THE SAME MANUFACTURER AS EXISTING OR NEW FIRE ALARM SYSTEM. MECHANICAL CONTRACTOR SHALL INSTALL DETECTORS IN THE MECHANICAL DUCTWORK, AS REQUIRED BY CODE. TO FACILITATE MOTOR SHUTDOWN UPON DETECTION OF SMOKE. ELECTRICAL CONTRACTOR SHALL HARDWIRE DETECTOR TO THE FAN MOTOR THROUGH A POWER-INTERRUPTING RELAY) FOR SHUTDOWN UPON DETECTION OF SMOKE: AND IF REQUIRED BY CODE. THE FIRE ALARM CONTRACTOR SHALL CONNECT TO FIRE ALARM SYSTEM AS TROUBLE ALARM. COORDINATE ALL REQUIREMENTS AND SPECIFICATIONS WITH BUILDING ENGINEER OR BUILDING FIRE ALARM REPRESENTATIVE. SUBMIT DRAWINGS AND EQUIPMENT CUT SHEETS FOR ENGINEERS' REVIEW AND FIRE EPARTMENT APPROVAL.
- 6. IF A PRE-ACTION DRY PIPE SPRINKLER SYSTEM IS REQUIRED FOR THIS PROJECT, THE PRE-ACTION FIRE ALARM SYSTEM CONTROL PANEL SHALL BE ANNUNCIATED ON THE BUILDING MAIN FIRE ALARM CONTROL PANEL (FACP) IN THE FIRE COMMAND CENTER (FCC.)
- IF THE PROJECT REQUIRES A UPS SYSTEM AND COMPUTER ROOM AIR CONDITIONING (CRAC) UNITS, THE UPS SYSTEM AND CRAC UNITS SHALL BE CONNECTED TO THE BUILDING FIRE ALARM SYSTEM AND TO THE PRE-ACTION FIRE ALARM CONTROL PANEL. THE UPS SYSTEM, CRAC UNITS, AND FIRE/SMOKE DAMPERS SERVING THE COMPUTER ROOM SHALL BE SHUT DOWN UPON ACTIVATION OF FIRE ALARM SYSTEM. PROVIDE INTERFACE WIRING AS REQUIRED. PROVIDE WIRING FROM CRAC UNIT TO MOISTURE SENSORS OR SITE MONITORING SYSTEM IF IT IS PROVIDED UNDER MECHANICAL CONTROL AND ALARM SECTION. THE CRAC UNITS SHALL SHUT DOWN AND ALARM UPON DUCT DETECTOR ACTIVATION AS PART OF UL SYSTEM. COORDINATE ALL OF THE ABOVE WITH APPROPRIATE UPS, PDU AND CRAC UNIT MANUFACTURERS.

ASSOCIATED WIRING LOCATED IN THE CEILING SPACE BACK TO POINT OF ORIGIN, UNLESS THE TENANT DATA/TELECOMMUNICATIONS CONTRACTOR IS CONTRACTED TO REMOVE THE DATA/TELECOMMUNICATIONS CABLING UNDER A SEPARATE CONTRACT. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE CONTRACTOR FOR THE REMOVAL OF THE PHONE/DATA CABLING. PRIOR TO DISCONNECTING AND REMOVING ANY EQUIPMENT. DEVICES OR CABLING. THE APPROPRIATE CONTRACTOR SHALL COORDINATE WITH OWNER AND ARCHITECT TO ENSURE EQUIPMENT SHALL BE REMOVED.

- ELECTRICAL CONTRACTOR SHALL VERIFY QUANTITY AND TYPE OF DATA/PHONE/AUDIO/VIDEO PORTS TO BE INCLUDED IN FLOOR POKE-THRU DEVICES WITH DATA/TELECOMMUNICATIONS CONTRACTOR PRIOR TO ORDERING.
- VERIFY ALL SPECIFIC COMPUTER AND COMMUNICATIONS EQUIPMENT REQUIREMENTS with equipment supplier prior to rough in. Coordination shall include MOUNTING HEIGHTS, CONNECTION TYPE AND POWER REQUIREMENTS. ALL CONNECTIONS FOR COMPUTER AND COMMUNICATIONS EQUIPMENT SHALL BE IN ACCORDANCE WITH EQUIPMENT MANUFACTURER'S AND SUPPLIER'S RECOMMENDATIONS

MECHANICAL SYSTEM

- ELECTRICAL CONTRACTOR SHALL REVIEW MECHANICAL AND PLUMBING DRAWINGS AND SCHEDULES FOR VERIFICATION OF THE EQUIPMENT USED. WIRING AND ADDITIONAL INSTALLATION REQUIREMENTS PRIOR TO PROVIDING REQUIRED ROUGH-INS STARTERS/DISCONNECT SWITCHES, WHEN EQUIPMENT DELIVERED TO JOB SITE. ELECTRICAL CONTRACTOR SHALL VERIFY THIS DATA WITH EQUIPMENT NAMEPLATES OR MANUALS IF SIGNIFICANT DISCREPANCIES OCCUR CONTACT ELECTRICAL ENGINEER FOR REVISION OF THE CONSTRUCTION DOCUMENTS.
- PROVIDE ALL REQUIRED OUTLETS; HEAVY-DUTY SAFETY DISCONNECT SWITCHES, FUSES AND CONNECTIONS FOR ALL MECHANICAL EQUIPMENT UNLESS PROVIDED BY MECHANICAL CONTRACTOR AS SPECIFICALLY DIRECTED ON MECHANICAL DRAWING OR SPECIFICATION REQUIREMENTS.
- ELECTRICAL POWER WIRING IN CONNECTION WITH THE AUTOMATIC TEMPERATURE CONTROL SYSTEM, WHERE SHOWN ON THE ELECTRICAL DIVISION DRAWINGS, SHALL BE PERFORMED BY THE ELECTRICAL CONTRACTOR. ALL OTHER WIRING, INCLUDING LOW VOLTAGE REQUIRED FOR PROPER OPERATION OF THE AUTOMATIC TEMPERATURE CONTROL SYSTEM, SHALL BE PERFORMED BY THE MECHANICAL CONTRACTOR.

)	THERMOS	fat
]=	DUCT DET	ECTOR
Ĩ	MOTION SE	ENSOR
Ð	HEAT DETE	ECTOR
ACP	FIRE ALAR CONTROL	M PANEL
SYM	BOL	DESCF
ALL	CEILING	
2	3	SMOKE
K€	Ì	FIRE HO
E	X	FIRE AL

JOB NUMBER:

APPROVED BY:

SHEET TITLE:

SHEET:

DRAWN BY:

DATE

16235

8/22/201

Original drawing is 24" x 36" | Scale entities

accordingly if reduced

GENERAL NOTES

E0.0

A. NEW AND RELOCATED ITEMS SHOWN AS BOLD ------

DETAIL NOTES

- APPROXIMATE LOCATION OF UTILITY TRANSFORMER. COORDINATE SIZE WITH LOCAL UTILITY.
 COORDINATE EXACT LOCATION OF EXISTING TELEPHONE PEDESTAL IN FIELD. PROVIDE (3) NEW 2"
- CONDUITS FROM PEDESTAL TO DMARC LOCATION ON BUILDING. COORDINATE WITH LOCAL TELECOMMUNICATION UTILITY FOR ANY OTHER REQUIREMENTS.
 3. LOCATION OF ELECTRICAL SERVICE EQUIPMENT ON THE BUILDING. REFER TO SHEET E5.0 FOR
- ONE-LINE DIAGRAM. 4. PROVIDE 1" CONDUIT WITH PULL STRING ONLY FROM DIRECTIONAL SIGNS TO STUBBED UP BELOW
- PANEL "SB". LABEL CONDUIT WITH USE.
 PROVIDE (2) 1" CONDUITS FROM FUTURE OCS/SPEAKER POST TO DRIVE THRU WINDOW, AND (1) 1" CONDUIT FROM OCS/SPEAKER POST TO PANEL "SB". PROVIDE (1) 1" CONDUIT FROM OCS/SPEAKER STUBBED UP INSIDE SPACE. CONDUIT TO BE EXTENDED DURING TENANT BUILD OUT FOR COMMUNICATION CABLING. PROVIDE PULL STRINGS AND LABEL CONDUITS WITH USE.
- 6. PROVIDE (1) 1" CONDUIT FROM FUTURE PRE-ORDER MENU BOARD TO MENU BOARD AND THEN STUBBED UP BELOW PANEL "SB". PROVIDE PULL STRING AND LABEL CONDUITS WITH USE.
- 7. PROVIDE (1) 1" CONDUIT FROM FUTURE MENU BOARD TO STUBBED UP BELOW PANEL "SB". PROVIDE PULL STRINGS AND LABEL CONDUITS WITH USE.
- PROVIDE A 24"x24"x36" NEMA 3R HINGED COVER PULL BOX ON THE OUTSIDE OF THE BUILDING FOR CENTURY LINK DEMARC. BOX SHALL MEET APPLICABLE LOCAL TELECOMMUNICATION REQUIREMENTS.
- 9. STUB (1) 2" CONDUIT INTO EACH TENANT SPACE ABOVE CEILING FOR FUTURE TENANT USE.
- 10. PROVIDE (1) SPARE 1" CONDUIT TO BE RUN THROUGH FOUNDATION WALL OUT REAR OF BUILDING CAPPED AND TERMINATED AT BOTH ENDS. VERIFY LOCATION FOR STUB UP WITH TENANT'S REPRESENTATIVE.
- 11. PROVIDE NEW 24/7 ASTRONOMIC TIME CLOCK, NEMA 3R, LOCKABLE AND PHOTOCELL TO CONTROL PARKING LOT AND BUILDING LIGHTING.

DATE:

SHEET:

SHEET TITLE:

8/22/2016

Original drawing is 24" x 36" | Scale entities

accordingly if reduced

PHOTOMETRIC

SITE PLAN

E1.1

A. NEW AND RELOCATED ITEMS SHOWN AS BOLD ------

SCALE: 1/8"=1'-0" GENERAL NOTES: A. NEW AND RELOCATED ITEMS SHOWN AS BOLD ———— EXISTING ITEMS SHOWN AS LIGHT ————

			LIGHTING FIXTURE SCHEDULE			
TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	MOUNTING	VOLTAGE	LAMPS / BALLAST
	SECURITY	VP-S-30NB-90-5K-T4-UNV-RA-BCL	LED FIXTURE MOUNTED ON 20' POLES AT	20' SSS	120	LED 90W
Р	LIGHTING		90 DEGREES TYPE 4 DISTRIBUTION	POLE		9400 LM
						5000K
	OCL	AU1 010A 36 GW PTD BKP LED 120	DECORATIVE WALL SCONCE	SURFACE	120	LED 60W
w				WALL		
	LITHONIA	WSTM LED 2A 4000K 120	TRAPEZODAL WALL SCONCE	SURFACE	120	LED 17W
W2				WALL		
	LITHIONIA	AFN	EMERGENCY EGRESS, FORWARD THROW	SURFACE	120	LED
X1				WALL		
	LITHONIA	LHQM LED G HO	COMBINATION EXIT SIGN / EMERGENCY EGRESS LIGHT	SURFACE	120	WITH UNIT
x			WHITE, GREEN LETTERS, 90 MINUTE BATTERY PACK	WALL		

DETAIL NOTES

- 1. PROVIDE 3 1" CONDUIT FOR AIR CURTAIN CIRCUIT. COORDINATE WITH THE EQUIPMENT SUPPLIER FOR SPECIFIC ELECTRICAL CONNECTION REQUIREMENTS.
- 2. VERIFY EXACT LOCATION OF TENANT PANELS WITH THE TENANT IMPROVEMENT DRAWINGS TO BE PROVIDED LATER. THEY ARE SHOWN ON THIS DRAWING FOR REFERENCE ONLY PURPOSES OF BIDDING.
- 3. LIGHTING CONTROL PANEL AS MANUFACTURERS BY LC&D LIGHTING CONTROLS #GR1404LT (OR ENGINEER APPROVED EQUAL). PROVIDE WITH EXTERNALLY MOUNTED PHOTOCELL.
- 4. PROVIDE A FLUSH MOUNT, SINGLE GANG DEVICE BOX WITH BLANK COVER IN THE FACE OF THE EXTERIOR WALL FOR A BUILDING SIGN. INSTALL 3/4"C FROM THIS BOX STUBBED INTO THE CEILING SPACE OF THE BUILDING FOR FUTURE TENANT USE TO POWER A BUILDING MOUNTED SIGN. COORDINATE WITH ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF DEVICE BOX.
- 5. PLACE CONVENIENCE RECEPTACLE BELOW PANEL "H". PROVIDE GFCI WITH IN-USE WEATHERPROOF COVER.
- 6. TIME CLOCK FOR EF-1. SEE ROOF PLAN.

 \bigcirc

- 7. CONNECT TO UNSWITCHED LEG OF LOCAL 120V LIGHTING CIRCUIT.
- 8. PROVIDE PHOTOCELL FOR EXTERIOR BUILDING LIGHTING CIRCUIT.
- 9. G.C. TO PROVIDE 4" STRIP LIGHTS, 2-T8 LAMPS FOR TEMPORARY USE. FIXTURE TO BE REMOVED PRIOR TO TENANT FINISH BUILD OUT. RETURN TO G.C.

DETAIL NOTES

- 1. ROOFTOP UNIT TO BE PROVIDED WITH AN UN-POWERED CONVENIENCE OUTLET FROM THE FACTORY. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTING BRANCH CIRCUIT WIRING TO OUTLET. COORDINATE WITH THE MECHANICAL CONTRACTOR AND EQUIPMENT CUT SHEETS.
- 2. EQUIPMENT DISCONNECT TO BE PROVIDED, INSTALLED AND WIRED BY THE ELECTRICAL CONTRACTOR. COORDINATE MOUNTING OF EQUIPMENT DISCONNECT WITH MANUFACTURER INSTALLATION INSTRUCTIONS. DISCONNECT MOUNTING SHALL NOT IMPAIR OR IMPEDE OPENING ON ANY ACCESS PANELS FOR MAINTENANCE.

$Isc = \boxed{26,000} A$ (ESTIMATED) POINT #2, AT THE EUSERC CABINET: $f = 1.73 \times Length \times Isc (source) / LL Volts \times Wire Factor f = 1.73 \times 35 \times 26000 A / 208 \times 55779 f =$	PUINT #1, /	AT THE 300 KVA UT	ILITY '	TRANSFORM	ER;			
(ESTIMATED) =		lsc	=	26,000	A			
POINT #2, AT THE EUSERC CABINE1; f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 0.14 M = 1 / 1+f = 1/ 1+ 0.14 = 0.88 Isc = M x Isc (source) = 0.88 x 26000 A = 22,894 POINT #3, AT THE PANEL "H"; f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.33 M = 1 / 1+f = 1/ 1+ 1.33 = 0.43 Isc = M x Isc (source) = 0.43 x 22894 A = 9.807 / POINT #6, AT PANEL "B"; f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 0.37 M = 1 / 1+f = 1/ 1+ 0.37 = 0.73				(ESTIMATED	D)			
$f = 1.73 x \text{Length} \qquad x \text{Isc (source)} / \text{L-L Volts} x \text{Wire Factor} \\ f = 1.73 x 35 \\ f = 0.14 \qquad x 55779 \qquad x 55779 \qquad f = 0.14 \qquad x 55779 \qquad x 5$	POINT #2, /	AT THE EUSERC CA	BINE	ι;				
$\begin{array}{rcl} F = 1.73 & X & \text{Length} & X & \text{Isc (source)} & Y & \text{Let volts} & X & \text{Interactor} \\ f = 1.73 & X & \frac{35}{14} & X & \frac{26000}{14} & \text{A} & \frac{208}{14} & X & \frac{55779}{14} \\ \hline \\ M = 1 & / & 1+f = 1/ & 1+ & 0.14 & = & 0.88 \\ \hline \\ Isc = M & X & Isc (source) = & & 0.88 & X & 26000 & \text{A} = & 22,894 \\ \hline \\ POINT #3, AT THE PANEL "H"; \\f = 1.73 & X & Length & X & Isc (source) & / & L-L Volts & X & Wire Factor \\f = & & 1.57 & & & & & & & & & & & & & & & & & & &$	f = 1.73	x Length	v	lec (source)	,	I -I Volte	v	Wire Factor
$f = 1.73 \times 0.14 = 0.14 = 0.88$ $f = 0.14$ $M = 1 / 1 + f = 1/ 1 + 0.14 = 0.88$ $Isc = M \times Isc (source) = 0.88 \times 26000 A = 22,894$ $POINT #3, AT THE PANEL "H";$ $f = 1.73 \times Length \times Isc (source) / L-L Volts \times Wire Factor$ $f = 1.73 \times 20 \times 22894 A / 208 \times 2425$ $f = 0.39 \times 22894 A = 8,907 / 4A$ $POINT #4, AT PANEL "A";$ $f = 1.73 \times Length \times Isc (source) = 0.39 \times 22894 A = 8,907 / 4A$ $POINT #4, AT PANEL "A";$ $f = 1.73 \times Length \times Isc (source) = 0.39 \times 22894 A = 8,907 / 4A$ $POINT #4, AT PANEL "A";$ $f = 1.73 \times Length \times Isc (source) = 0.34 \times 22894 A = 7,820 / 4A$ $I = 1 / 1 + f = 1/ 1 + 1.93 = 0.34$ $Isc = M \times Isc (source) = 0.34 \times 22894 A = 7,820 / 4A$ $POINT #5, AT PANEL "B";$ $f = 1.73 \times Length \times Isc (source) / L-L Volts \times Wire Factor$ $f = 1.73 \times Length \times 22894 A / 208 \times 12843$ $Isc = M \times Isc (source) = 0.34 \times 22894 A = 7,820 / 4A$ $Isc (source) = 0.43 \times 22894 A = 9,807 / 4A$ $Isc (source) = 0.43 \times 22894 A = 9,807 / 4A$ $POINT #6, AT PANEL "B";$ $f = 1.73 \times Length \times Isc (source) / L-L Volts \times Wire Factor f = 1.73 \times Length \times 22894 A / 208 \times 22894 A = 9,807 / 4A$ $Isc (source) = 0.43 \times 22894 A = 9,807 / 4A$ $Isc (source) = 0.43 \times 22894 A = 9,807 / 4A$ $Isc (source) = 0.43 \times 22894 A = 9,807 / 4A$ $Isc (source) = 0.43 \times 22894 A = 9,807 / 4A$ $Isc (source) = 0.43 \times 22894 A = 9,807 / 4A$ $Isc (source) = 0.43 \times 22894 A = 9,807 / 4A$ $Isc (source) = 0.43 \times 22894 A = 9,807 / 4A$ $Isc (source) = 0.43 \times 22894 A = 9,807 / 4A$ $Isc (source) = 0.43 \times 22894 A = 9,807 / 4A$ $Isc (source) = 0.43 \times 22894 A = 9,807 / 4A$ $Isc (source) = 0.43 \times 22894 A = 2,807 / 4A$ $Isc (source) = 0.43 \times 22894 A / 208 \times 25686 / 4A$ $I = 0.37 / 4A / 208 \times 25686 / 4A / 208 / 4A $	f = 1.73	x 25	Ŷ	26000	•	208	Ŷ	55779
M = 1 / 1+f = 1/ 1+ 0.14 = 0.88 M = 0.39 M = 1 / 1+f = 1/ 1+ 1.57 = 0.39 M = 0.34 M = 0.43 M = 0.37 M = 1 / 1+f = 1/ 1+ 0.37 M = 0.73 M = 1 / 1+f = 1/ 1+ 0.37 M = 0.73 M = 1 / 1+f = 1/ 1+ 0.37 M = 0.73 M = 0.73 M = 1 / 1+f = 1/ 1+ 0.37 M = 0.73 M = 0.73	f = 1.75	×	. ^		~′	200	- ^	
$M = 1 / 1 + f = 1 / 1 + 0.14 = 0.88$ $Isc = M \times Isc (source) = 0.88 \times 26000 A = 22,894 / 2000 A = 2425 / 2000 A = 1 / 1 + f = 1 / 1 + 1.57 = 0.39 / 22894 A = 2,007 / A / 2000 A =$		0.14						
$M = 1 / (+1 = 1) 1 + \underbrace{0.14}{0.14} = \underbrace{0.38}{0.38} \times \underbrace{26000}{0} A = \underbrace{22,894}{0}$ $Isc = M x \ Isc (source) = \underbrace{0.88}{0} \times \underbrace{26000}{0} A = \underbrace{22,894}{0}$ $POINT #3, AT THE PANEL "H";$ $f = 1.73 x Length x Isc (source) / L-L \ Volts x Wire \ Factor f = 1.73 x 20 x 22894 A 208 x 2425 f = \underbrace{1.57}{0} x 22894 A 208 x 2425 x 2425 f = \underbrace{1.57}{0} x 22894 A 208 x 2425 x 2684 x 22894 A 208 x 12843 x 22894 A 208 x 25686 x $	M - 4	1 415 - 41		0.44	_	0.00		
Isc = M x Isc (source) = 0.88 x 26000 A = 22,894 POINT #3, AT THE PANEL "H"; f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x 20 x 22894 A / 208 x 2425 f = 1.57 x 20 x 22894 A / 208 x 2425 f = 1.57 x 20 x 22894 A = 8,907 / A A 1 + f = 1/ 1 + 1.57 = 0.39 x 22894 A = 8,907 / A A Isc (source) = 0.39 x 22894 A = 8,907 / A A 208 X 12843 1	IVI = 1	/ 1+1 = 1/	1+	0.14	=	0.88	-	
$\begin{aligned} & sc = M x \ sc (source) = \underbrace{0.88}_{f = 1.73} x \ Length \\ x \ sc (source) / L-L Volts \\ x \ Wire Factor \\ f = 1.73 x \ 20 \\ f = \underbrace{1.57}_{f = 1.73} \\ x \ 22894 \\ A / 208 \\ x \ 2425 \\ f = \underbrace{1.57}_{f = 1.73} \\ x \ 22894 \\ A / 208 \\ x \ 2425 \\ x \ 2425 \\ f = \underbrace{1.57}_{f = 1.73} \\ x \ 22894 \\ A / 208 \\ x \ 22894 \\ A = \underbrace{8.907}_{f = 1.73} \\ x \ 1sc (source) = \underbrace{0.39}_{f = 1.73} \\ x \ 22894 \\ A / 208 \\ x \ 12843 \\ f = \underbrace{1.33}_{f = 1.33} \\ M = 1 \\ x \ 1sc (source) = \underbrace{0.34}_{f = 2.2894} \\ A / 208 \\ x \ 12843 \\ f = \underbrace{1.33}_{f = 1.73} \\ x \ 1sc (source) = \underbrace{0.34}_{f = 1.73} \\ x \ 22894 \\ A = \underbrace{7.820}_{f = 1.73} \\ x \ 12843 \\ f = \underbrace{1.33}_{f = 1.33} \\ M = 1 \\ x \ 1sc (source) = \underbrace{0.34}_{f = 1.33} \\ x \ 22894 \\ A = \underbrace{7.820}_{f = 1.73} \\ x \ 12843 \\ f = \underbrace{1.33}_{f = 1.33} \\ M = 1 \\ x \ 1sc (source) = \underbrace{0.43}_{f = 0.43} \\ x \ 22894 \\ A = \underbrace{9.807}_{f = 1.73} \\ x \ 1sc (source) = \underbrace{0.43}_{f = 1.73} \\ x \ 22894 \\ A = \underbrace{9.807}_{f = 1.73} \\ x \ 1sc (source) = \underbrace{0.43}_{f = 1.73} \\ x \ 22894 \\ A = \underbrace{9.807}_{f = 1.73} \\ x \ 1sc (source) = \underbrace{0.43}_{f = 1.73} \\ x \ 22894 \\ A = \underbrace{9.807}_{f = 1.73} \\ x \ 1sc (source) = \underbrace{0.43}_{f = 1.73} \\ x \ 22894 \\ A = \underbrace{9.807}_{f = 1.73} \\ x \ 1sc (source) = \underbrace{0.43}_{f = 1.73} \\ x \ 22894 \\ A = \underbrace{9.807}_{f = 1.73} \\ x \ 1sc (source) = \underbrace{0.43}_{f = 1.73} \\ x \ 22894 \\ A = \underbrace{9.807}_{f = 1.73} \\ x \ 1sc (source) = \underbrace{0.43}_{f = 1.73} \\ x \ 22894 \\ A = \underbrace{9.807}_{f = 1.73} \\ x \ 25686 \\ f = \underbrace{0.37}_{f = 1.73} \\ x \ 25686 \\ f = \underbrace{0.37}_{f = 1.73} \\ x \ 25686 \\ f = \underbrace{0.73}_{f = 1.73} \\ x \ 25686 \\ f = \underbrace{0.73}_{f = 1.73} \\ x \ 25686 \\ f = \underbrace{0.73}_{f = 1.73} \\ x \ 25686 \\ f = \underbrace{0.73}_{f = 1.73} \\ x \ 25686 \\ f = \underbrace{0.73}_{f = 1.73} \\ x \ 25686 \\ f = \underbrace{0.73}_{f = 1.73} \\ x \ 25686 \\ f = \underbrace{0.73}_{f = 1.73} \\ x \ 25686 \\ f = \underbrace{0.73}_{f = 1.73} \\ x \ 25686 \\ f = \underbrace{0.73}_{f = 1.73} \\ x \ 25686 \\ f = \underbrace{0.73}_{f = 1.73} \\ x \ 25686 \\ f = \underbrace{0.73}_{f = 1.73} \\ x \ 25686 \\ f = \underbrace{0.73}_{f = 1.73} \\ x \ 25686 \\ f = \underbrace{0.73}_{f = 1.73} \\ x \ 25686 \\ f = \underbrace{0.73}_{f = 1.73} \\ x \ 25686 \\ f = \underbrace{0.73}_{f = 1.73} \\ x \ $								
POINT #3, AT THE PANEL "H"; f = 1.73 x Length x lsc (source) / L-L Volts x Wire Factor $f = 1.57 x 22894 A / 208 x 2425 x 22894 A x 25686 x 2568$	lsc = M	x lsc (source) =		0.88	x	26000	A =	22,894 A
POINT #3, AT THE PANEL "H"; f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x 20 x 22894 A / 208 x 2425 f = 1.57 M = 1 / 1+f = 1/ 1+ 1.57 = 0.39 Isc = M x Isc (source) = 0.39 x 22894 A = 8,907 / A POINT #4, AT PANEL "A"; f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Z2894 A = 9,807 / 208 X Z26866 f = 0.37 M = 1 / 1+f = 1/ 1+ 0.37 = 0.73								
f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x 20 x 22894 A 208 x 2425 f = 1.57 M = 1 / 1+f = 1 1 1+ 1.57 = 0.39 Isc = M x Isc (source) = 0.39 x 22894 A = 8,907 A POINT #4, AT PANEL "A"; f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x 130 x 22894 A / 208 x 12843 f = 1.93 M = 1 / 1+f = 1 / 1+ 1.93 = 0.34 M = 1 / 1+f = 1 / 1+ 1.93 = 0.34 M = 1 / 1+f = 1 / 1+ 1.93 = 0.34 POINT #5, AT PANEL "B"; f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x 22894 A 208 x 25686 f = 0.37 M = 1 / 1+f = 1 / 1+ 0.37 = 0.73	POINT #3, /	AT THE PANEL "H";						
$ \begin{array}{cccccccccccccccccccccccccccccccccccc$		•		. .	-			
$f = 1.73 x 20 \qquad x 22894 \qquad A \ / \ 208 \qquad x 2425 \qquad f = \frac{1.57}{1.57}$ $M = 1 \ / \ 1+f = 1/ \ 1+ \frac{1.57}{1.57} = 0.39$ $Isc = M x \ Isc (source) = \frac{0.39}{x} x 22894 \qquad A = \frac{8,907}{7} \ A = \frac{1.73}{x} \qquad x \ Length \qquad x \ Isc (source) \ / \ L-L \ Volts \qquad x \qquad Wire \ Factor \ f = 1.73 \qquad x \ 130 \qquad x \ 22894 \qquad A \ / \ 208 \qquad x \ 12843 \qquad f = \frac{1.93}{1.93}$ $M = 1 / \ 1+f = 1/ \qquad 1+ \frac{1.93}{1.93} = \frac{0.34}{1.2894} \qquad A = \frac{7,820}{7} \ / \ A = \frac{7,820}{7} \ / \ A = \frac{7,820}{7} \ / \ A = \frac{1.73}{1.2843} \qquad X \ 12843 \qquad X \ 22894 \qquad A = \frac{7,820}{7} \ / \ A = \frac{7,820}{7} \ / \ A = \frac{1.73}{1.33} \qquad X \ Isc (source) = \frac{0.34}{x} \qquad X \ 22894 \qquad A = \frac{7,820}{7.820} \ / \ A = \frac{1.33}{1.33} \qquad X \ 12843 \qquad X \ 12844 \qquad X \ 12844 \qquad X \ 12844 $	f = 1.73	x Length	х	lsc (source)	Ι	L-L Volts	x	Wire Factor
$f = 1.57$ $M = 1 / 1+f = 1/ 1+ 1.57 = 0.39$ $Isc = M \times Isc (source) = 0.39 \times 22894 A = 8,907 / A$ $POINT #4, AT PANEL "A";$ $f = 1.73 \times Length \times Isc (source) / L-L Volts \times Wire Factor$ $f = 1.73 \times 130 \times 22894 A / 208 \times 12843$ $f = 1.73 \times 130 \times 22894 A / 208 \times 12843$ $Isc = M \times Isc (source) = 0.34 \times 22894 A = 7,820 / 208 $	f = 1.73	x 20	X	22894	Α /	208	x	2425
M = 1 / 1+f = 1/ 1+ 1.57 = 0.39 isc = M x isc (source) = 0.39 x 22894 A = 8,907 A POINT #4, AT PANEL "A"; f = 1.73 x Length x isc (source) / L-L Volts x Wire Factor f = 1.73 x 130 x 22894 A / 208 x 12843 f = 1.73 x 130 x 22894 A / 208 x 12843 f = 0.34 x 22894 A = 7,820 A M = 1 / 1+f = 1/ 1+ 1.93 = 0.34 isc = M x isc (source) = 0.34 x 22894 A = 7,820 A POINT #5, AT PANEL "B"; f = 1.73 x Length x isc (source) / L-L Volts x Wire Factor f = 1.73 x 2894 A / 208 x 12843 f = 0.34 x 22894 A / 208 x 12843 f = 0.43 x 22894 A = 9,807 A isc = M x isc (source) = 0.43 x 22894 A = 9,807 A M = 1 / 1+f = 1/ 1+ 1.33 = 0.43 isc = M x isc (source) = 0.43 x 22894 A = 9,807 A POINT #6, AT PANEL "SB"; f = 1.73 x Length x isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x isc (source) / L-L Volts x 25686 f = 0.37 M = 1 / 1+f = 1/ 1+ 0.37 = 0.73	f =	1.57						
M = 1 / 1 + f = 1 / 1 + 1.57 = 0.39 isc = M x isc (source) = 0.39 x 22894 A = 8,907 A POINT #4, AT PANEL "A"; f = 1.73 x Length x isc (source) / L-L Volts x Wire Factor f = 1.73 x 130 x 22894 A / 208 x 12843 f = 1.73 x 130 x 22894 A / 208 x 12843 f = 0.34 x 22894 A = 7,820 / 12843 isc = M x isc (source) = 0.34 x 22894 A = 7,820 / 12843 f = 1.73 x Length x isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x isc (source) / L-L Volts x 12843 f = 0.34 x 22894 A / 208 x 12843 f = 0.43 x 22894 A = 9,807 / 12843 M = 1 / 1 + f = 1 / 1 + 1.33 = 0.43 isc = M x isc (source) = 0.43 x 22894 A = 9,807 / 12843 M = 1 / 1 + f = 1 / 1 + 0.37 = 0.73 M = 1 / 1 + f = 1 / 1 + 0.37 = 0.73								
Isc = M x Isc (source) = 0.39 x 22894 A = 8,907 A POINT #4, AT PANEL "A"; f 1 x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x 130 x 22894 A / 208 x 12843 f = 1.73 x 1.93 0.34 x 22894 A = 7,820 / POINT #5, AT PANEL "B"; f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x 90 x 22894 A / 208 x 12843 f = 1.73 x 90 x 22894 A / 208 x 12843 isc = M x isc (source) = 0.43 x 22894 A = 9,807 / POINT #6, AT PANEL "SB"; f 1.1 1 + f = 1 / 1 +	M = 1	/ 1+f = 1/	1+	1.57	=	0.39	-	
isc = M x isc (source) = 0.39 x 22894 A = 8,907 . A POINT #4, AT PANEL "A"; f f 1.73 x Length x isc (source) / L-L Volts x Wire Factor f = 1.73 x 130 x 22894 A / 208 x 12843 f =								
A POINT #4, AT PANEL "A"; f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x 130 x 22894 A / 208 x 12843 f = 1.73 x 130 x 22894 A / 208 x 12843 M = 1 / 1+f = 1/ 1+ 1.93 = 0.34 x 22894 A = 7,820 / POINT #5, AT PANEL "B"; f 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x 12843 f = 1 / 1+f = 1/ 1+ 1.33 = 0.43 x 12843 Isc = M x Isc (source) = 0.43 x 22894 A = 9,807 / POINT #6, AT PANEL "SB"; f 1.73 x Length x Isc (source) L-L Volts	lsc = M	x lsc (source) =		0.39	x	22894	A =	8,907 A
POINT #4, AT PANEL "A"; f = 1.73 x Length x lsc (source) / L-L Volts x Wire Factor f = 1.73 x <u>130</u> x <u>22894</u> A / <u>208</u> x <u>12843</u> f =	Α							
f = 1.73 x Length x lsc (source) / L-L Volts x Wire Factor f = 1.73 x 130 x 22894 A / 208 x 12843 f = 1.93 $M = 1 / 1+f = 1 / 1+ 1.93 = 0.34 Isc = M x lsc (source) = 0.34 x 22894 A = 7,820 / POINT #5, AT PANEL "B"; f = 1.73 x Length x lsc (source) / L-L Volts x Wire Factor f = 1.73 x Length x lsc (source) / L-L Volts x Wire Factor f = 1.73 x 90 x 22894 A / 208 x 12843 f = 1.33 $	POINT #4, A	AT PANEL "A";						
f = 1.73 x Length x lsc (source) / L-L Volts x Wire Factor f = 1.73 x 130 x 22894 A / 208 x 12843 f f = 1.93 1+f = 1 1+ 1.93 = 0.34 12843 128								
$f = 1.73 x 130 \qquad x 22894 \qquad A \ / \ 208 \qquad x 12843 \qquad f = \frac{1.93}{1.93}$ $M = 1 / \ 1+f = 1 \ / \ 1+ \ 1.93 \qquad = \ 0.34 \qquad x 22894 \qquad A = \boxed{7,820} \ / \ A = \boxed{7,820} \ A = \boxed{7,820} \ / \ A = \boxed{7,820} \ A = 7,82$	f = 1.73	x Length	x	lsc (source)	1	L-L Volts	x	Wire Factor
$f = 1.93$ $M = 1 / 1+f = 1/ 1+ 1.93 = 0.34$ $Isc = M \times Isc (source) = 0.34 \times 22894 A = 7,820$ $POINT \#5, AT PANEL "B";$ $f = 1.73 \times Length \times Isc (source) / L-L Volts \times Wire Factor$ $f = 1.73 \times 2894 A / 208 \times 12843$ $f = 1.33$ $M = 1 / 1+f = 1/ 1+ 1.33 = 0.43$ $Isc = M \times Isc (source) = 0.43 \times 22894 A = 9,807$ $POINT \#6, AT PANEL "SB";$ $f = 1.73 \times Length \times Isc (source) / L-L Volts \times Wire Factor$ $f = 1.73 \times Length \times Isc (source) = 0.43 \times 22894 A = 9,807$ $POINT \#6, AT PANEL "SB";$ $f = 1.73 \times Length \times Isc (source) / L-L Volts \times Wire Factor$ $f = 1.73 \times Length \times Isc (source) / L-L Volts \times Wire Factor$ $f = 1.73 \times Length \times Isc (source) / L-L Volts \times Wire Factor$ $f = 1.73 \times Length \times Isc (source) / L-L Volts \times Wire Factor$ $f = 1.73 \times Length \times Isc (source) / L-L Volts \times 25686$ $f = 0.37$ $M = 1 / 1+f = 1/ 1+ 0.37 = 0.73$	f = 1.73	x <u>130</u>	x	22894	A /	208	x	12843
$M = 1 / 1+f = 1/ 1+ 1.93 = 0.34$ $Isc = M \times Isc (source) = 0.34 \times 22894 A = 7,820 / 1000 / $	f =	1.93						
$M = 1 / 1 + f = 1 / 1 + 1.93 = 0.34$ $Isc = M \times Isc (source) = 0.34} \times 22894 A = 7,820 / 10000000000000000000000000000000000$								
$\begin{aligned} & sc = M x \ sc (source) = \\ & 0.34 x 22894 A = \\ \hline 7,820 , \\ \hline POINT \#5, AT PANEL "B"; \\ &f = 1.73 x Length x sc (source) / L-L \ Volts x Wire \ Factor \\ &f = 1.73 x 90 x 22894 A / 208 x 12843 \\ &f = \\ \hline 1.33 & \\ \hline M = 1 / 1+f = 1 1 + \\ \hline 1.33 = \\ \hline 0.43 & \\ \hline 1sc = M x \ sc (source) = \\ \hline 0.43 x 22894 A = \\ \hline 9,807 / \\ \hline POINT \#6, AT \ PANEL "SB"; \\ &f = 1.73 x Length x sc (source) / L-L \ Volts x Wire \ Factor \\ &f = 1.73 x Length x sc (source) / L-L \ Volts x Wire \ Factor \\ &f = 1.73 x Length x sc (source) / L-L \ Volts x Wire \ Factor \\ &f = 1.73 x Length x sc (source) / L-L \ Volts x Wire \ Factor \\ &f = 1.73 x 50 x 22894 A / 208 x 25686 \\ &f = \\ \hline 0.37 & \\ M = 1 / 1+f = 1 / 1 + \\ \hline 0.37 = \\ \hline 0.73 & \\ \end{aligned}$	M = 1	/ 1+f = 1 /	1 +	1.93	=	0.34	-	
Isc = M x Isc (source) = 0.34 x 22894 A = $7,820$ / POINT #5, AT PANEL "B"; f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x 90 x 22894 A / 208 x 12843 f = 1.33 M = 1 / 1+f = 1 / 1+ 1.33 = 0.43 Isc = M x Isc (source) = 0.43 x 22894 A = $9,807$ / POINT #6, AT PANEL "SB"; f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x Length x Isc (source) / L-L Volts x 22894 A = 25686 f = 0.37 M = 1 / 1+f = 1 / 1+ 0.37 = 0.73								
POINT #5, AT PANEL "B"; $f = 1.73$ x Length x Isc (source) / L-L Volts x Wire Factor $f = 1.73$ x 90 x 22894 A / 208 x 12843 $f =$	lsc = M	x lsc (source) =		0.34	x	22894	A =	7,820 A
POINT #5, AT PANEL "B"; $f = 1.73$ x Length x Isc (source) / L-L Volts x Wire Factor $f = 1.73$ x 90 x 22894 A / 208 x 12843 $f = 1.73$ x 90 x 22894 A / 208 x 12843 $f = 1.73$ x 90 1+f = 1/ 1+ 1.33 = 0.43 Isc = M x Isc (source) = 0.43 x 22894 A = 9,807 / POINT #6, AT PANEL "SB"; f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor $f = 1.73$ x Length x Isc (source) / L-L Volts x Wire Factor $f = 1.73$ x 50 x 22894 A / 208 x 25686 $f = 0.37$ M 1 1+ f = 1/ 1+ 0.37 = 0.73								
f = 1.73 x Length x lsc (source) / L-L Volts x Wire Factor f = 1.73 x 90 x 22894 A / 208 x 12843 f = 1.33	POINT #5, A	AT PANEL "B";						
f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x 90 x 22894 A / 208 x 12843 f = 1.33								
$f = 1.73 x 90 \qquad x 22894 \qquad A \ / \ 208 \qquad x 12843$ $f = 1.33 \qquad M = 1 \ / \ 1+f = 1 \ / \ 1+ \ 1.33 \qquad = 0.43 \qquad M = 0.43$ $Isc = M x \ Isc (source) = 0.43 \qquad x 22894 \qquad A = 9,807 \qquad / \ POINT \ \#6, \ AT PANEL \ "SB";$ $f = 1.73 x Length \qquad x Isc (source) \ / \ L-L \ Volts \qquad x Wire \ Factor \ f = 1.73 \qquad x 50 \qquad x 22894 \qquad A \ / \ 208 \qquad x 25686 \qquad M = 1 \qquad / \ 1+f = 1 \ / \ 1+ \ 0.37 \qquad = 0.73 \qquad M = 1 \qquad / \ 1+f = 1 \ / \ 1+ \ 0.37 \qquad = 0.73$	f = 1.73	x Length	x	lsc (source)	1	L-L Volts	x	Wire Factor
$f = 1.33$ $M = 1 / 1 + f = 1 / 1 + 1.33 = 0.43$ $Isc = M \times Isc (source) = 0.43 \times 22894 A = 9,807 / 1000 A = 9,800 A = 9,800 A / 1000 A =$	f = 1.73	x <u>90</u>	x	22894	A /	208	x	12843
$M = 1 / 1 + f = 1 / 1 + 1.33 = 0.43$ $Isc = M \times Isc (source) = 0.43} \times \underline{22894} A = \underline{9,807} / A$ $POINT #6, AT PANEL "SB";$ $f = 1.73 \times Length \times Isc (source) / L-L Volts \times Wire Factor$ $f = 1.73 \times \underline{50} \times \underline{22894} A / \underline{208} \times \underline{25686}$ $f = \underline{0.37}$ $M = 1 / 1 + f = 1 / 1 + \underline{0.37} = \underline{0.73}$		1.33						
$M = 1 / 1 + f = 1 / 1 + 1.33 = 0.43$ $Isc = M \times Isc (source) = 0.43 \times 22894 A = 9,807 / POINT #6, AT PANEL "SB"; f = 1.73 \times Length \times Isc (source) / L-L Volts \times Wire Factor f = 1.73 \times 50 \times 22894 A / 208 \times 25686 f = 0.37 M = 1 / 1 + f = 1 / 1 + 0.37 = 0.73}$	f =							
Isc = M x Isc (source) = 0.43 x 22894 A = 9,807 , POINT #6, AT PANEL "SB"; f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x 50 x 22894 A / 208 x 25686 f = 0.37 M = 1 / 1+f = 1/ 1+ 0.37 = 0.73	f =							
$Isc = M x \ Isc (source) = \underbrace{0.43}_{X} x \underbrace{22894}_{A} = \underbrace{9,807}_{A}$	f = M = 1	/ 1+ f = 1 /	1+	1.33	=	0.43	_	
POINT #6, AT PANEL "SB"; f = 1.73 x Length x lsc (source) / L-L Volts x Wire Factor f = 1.73 x 50 x 22894 A / 208 x 25686 f = 0.37 M = 1 / 1+f = 1/ 1+ 0.37 = 0.73	f = M = 1	/ 1+ f = 1 /	1+	1.33	=	0.43	-	
POINT #6, AT PANEL "SB"; f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x 50 x 22894 A / 208 x 25686 f = 0.37 0.37 0.73 M = 1 / 1+f = 1/ 1+ 0.37 = 0.73	f = M = 1 Isc = M	/ 1+ f = 1 / x lsc (source) =	1+	<u> </u>	= x	0.43	A =	9,807 A
f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x 50 x 22894 A / 208 x 25686 f = 0.37	f = M = 1 Isc = M	/ 1+ f = 1 / x lsc (source) =	1+	1.33 0.43	= x	0.43 22894	_A =	9,807 A
f = 1.73 x Length x Isc (source) / L-L Volts x Wire Factor f = 1.73 x 50 x 22894 A / 208 x 25686 f = 0.37	f = M = 1 Isc = M POINT #6, <i>J</i>	/ 1+ f = 1 / x lsc (source) =	1+	1.33 0.43	= x	0.43	_ A =	9,807 A
f = 1.73 x 50 x 22894 A / 208 x 25686 f = 0.37	f = M = 1 Isc = M POINT #6, /	/ 1+ f = 1 / x lsc (source) = AT PANEL "SB";	1+	0.43	= x	0.43	_A =	9,807 A
f = 0.37 $M = 1 / 1+f = 1 / 1+ 0.37 = 0.73$	f = M = 1 Isc = M POINT #6, <i>J</i> f = 1.73	/ 1+ f = 1 / x lsc (source) = AT PANEL "SB"; x Length	1+ 	1.33 0.43 Isc (source)	= ×	0.43 22894 L-L Volts	_A =	9,807 A
M = 1 / 1 + f = 1 / 1 + 0.37 = 0.73	f = M = 1 Isc = M POINT #6, <i>i</i> f = 1.73 f = 1.73	/ 1+ f = 1 / x lsc (source) = AT PANEL "SB"; x Length x 50	1+ 	1.33 0.43 Isc (source) 22894	= x / A /	0.43 22894 L-L Volts 208	_ A = _ x	9,807 A Wire Factor 25686
M = 1 / 1+f = 1 / 1+ <u>0.37</u> = <u>0.73</u>	f = M = 1 Isc = M POINT #6, <i>i</i> f = 1.73 f = 1.73 f =	/ 1+ f = 1 / x lsc (source) = AT PANEL "SB"; x Length x 50 0.37	1 + x x	1.33 0.43 Isc (source) 22894	= x / A /	0.43 22894 L-L Volts 208	A =	9,807 A Wire Factor 25686
	f = M = 1 Isc = M POINT #6, f = 1.73 f = 1.73 f =	/ 1+ f = 1 / x lsc (source) = AT PANEL "SB"; x Length x 50 0.37	1+ x x	1.33 0.43 Isc (source) 22894	= x / A /	0.43 22894 L-L Volts 208	_ A =	9,807 A Wire Factor 25686
	f = M = 1 Isc = M POINT #6, A f = 1.73 f = 1.73 f = M = 1	/ 1+ f = 1 / x lsc (source) = AT PANEL "SB"; x Length x 50 0.37 / 1+ f = 1 /	1+ x x 1+	1.33 0.43 lsc (source) 22894 0.37	= x / A /	0.43 22894 L-L Volts 208	_ A = _ x _ x	9,807 A Wire Factor 25686

	PANEL _"H" (M	NEW)		_	vo	LTAGE	120	1	208	v	3	ø	4	w	
	FLUSH	M.C.B.		_		MLO	х	_ I	.G. BAR		_	MANF.	TBD		
	SURFACE X	_ BUS	125A	CU					A.I.C.	22K	-	С.В.	BOLT ON		
/PE	DESCRIPTION	BKR	CIR	LO	AD (VOL	T AMPS	/ PHAS	E		CIR	BKR	DE	SCRIPTION		ТҮРЕ
				A		В		с							
	SPACE	-	1	0	360			_		2	20	BLDG	LIGHTING		L
	SPACE	-	3			0	180			4	20	RECP	TACLE		R
	SPACE	-	5			-		0	630	6	20	PARK	NG LOT LTG		L
	SPACE		7	0	0	ļ		-		8	-	SPAC	E		
	SPACE		9			0	0			10	-	SPAC	E		
	SPACE	-	11			-		0	0	12	-	SPAC	E		
	SPACE		13	0	0			7		14	-	SPAC	E		
	SPACE		15			0	0			16	-	SPAC	E		
	SPACE	-	17			7		0	0	18	-	SPAC	E		<u> </u>
	SPACE		19	0	0	ļ		-		20	-	SPAC	E		<u> </u>
	SPACE		21			0	0			22	-	SPAC	E		<u> </u>
	SPACE	-	23			7		0	0	24	-	SPAC	E		<u> </u>
	SPACE		25	0	0	ļ		-		26	-	SPAC	E		<u> </u>
	SPACE	-	27			0	0			28	-	SPAC	E		
	SPACE	-	29					0	0	30	-	SPAC	E		
				360		180		630							
	LOAD TYPE		CONN	IECTED I	KVA	ΤΟΤΑ	L	FACT	OR	DEM	AND KV	A	TOTAL		
			Α	В	С	ALL PH	IASES			Α	в	с	ALL PHASE	ES]
	LIGHTING		0.4	0.0	0.6	1.0		125%		0.5	0.0	0.8	1.2		
	RECEPTACLE (10	KVA OR LESS)	0.0	0.2	0.0	0.2		100%		0.0	0.2	0.0	0.2		
	RECEPTACLE (O)	VER 10KVA)	0.0	0.0	0.0	0.0		50%		0.0	0.0	0.0	0.0]
	HVAC/MOTOR		0.0	0.0	0.0	0.0		100%		0.0	0.0	0.0	0.0		
	MOTOR(LARGES	Т)	0.0	0.0	0.0	0.0		125%		0.0	0.0	0.0	0.0]
	KITCHEN EQUIPM	IENT	0.0	0.0	0.0	0.0		100%		0.0	0.0	0.0	0.0]
	MISCELLANEOUS		0.0	0.0	0.0	0.0		100%		0.0	0.0	0.0	0.0		1
		TOTAL KVA	0.4	0.2	0.6	1.2		тот	AL KVA	0.5	0.2	0.8	1.4		1
	WITH GROUND BI	us						тота	L AMPS	3.8	1.5	6.6	3.9		1
	LEGEND	L = LIGHTING	R =	RECEPTA	CLE	M = H	IVAC / M	OTOR	ĸ	= KITCHE	EN	G = MIS	CELLANEOUS		1
	MAX PERCENT DIFFERENC			BETWEE	N PHASE	S (A,B,C):		71.4%							

	PANEL "MDF	P" (NEW)		_	VO	LTAGE	120	1	208	v	3	ø	4 W	
	FLUSH	M.C.B.		_		MLO	х	I.	.G. BAR		_	MANF.	GE SPECTRA	
		BUS	800A	CU					A.I.C.	65K	-	C.B.	BOLT ON	
TYPE	DESCRIPTION	BKR	CIR	LO	AD (VOL	T AMPS) / PHAS	E		CIR	BKR	DE	SCRIPTION	ТҮРЕ
				A		В		с						
G	PANEL "H"	60	1	5700	19213					2	200 /	PANEL	- "B"	G
G	HOUSE		3	-		5700	19213			4		VACA	ΝΤ	G
G	-	3	5			1		5700	19213	6	3	-		G
G	PANEL "A"	200	7	19213	38427			1		8	400	PANEL	_ "SB"	G
G	SLEEP NUMBER	/	9	-		19213	38427			10		STARE	BUCKS	G
G	-	3	11			1		19213	38427	12	3	-		G
	100A SPACE	-	13	0	0		-	1		14		SPACE		
	-	-	15	-		0	0	•	•	16		SPACE		
1/				92553		82553		0 82553	U	18		SPACE	=	
				02000		02000		02000]				
			CONN					FACTOR		DEM				
			A	В	С	ALL PH	IASES			A	В	C	ALL PHASES	
	LIGHTING		0.0	0.0	0.0	0.0		125%		0.0	0.0	0.0	0.0	
	RECEPTACLE (10	KVA OR LESS)	0.0	0.0	0.0	0.0		100%		0.0	0.0	0.0	0.0	
	RECEPTACLE (O	VER 10KVA)	0.0	0.0	0.0	0.0		50%		0.0	0.0	0.0	0.0	
	HVAC/MOTOR		0.0	0.0	0.0	0.0		100%		0.0	0.0	0.0	0.0	
	MOTOR(LARGES	Т)	0.0	0.0	0.0	0.0		125%		0.0	0.0	0.0	0.0	
	KITCHEN EQUIPM	MENT	0.0	0.0	0.0	0.0		100%		0.0	0.0	0.0	0.0	
	MISCELLANEOUS		82.6	82.6	82.6	247.7		100%		82.6	82.6	82.6	247.7	
		TOTAL KVA	82.6	82.6	82.6	247.7		тот	AL KVA	82.6	82.6	82.6	247.7	
	WITH GROUND B					ΤΟΤΑΙ	LAMPS	687.9	687.9	687.9	687.4			
	LEGEND	L = LIGHTING	RECEPTA	CLE	M = ⊦	IVAC / MC	DTOR	к	= KITCH	EN	G = MIS	CELLANEOUS		
	-													

NOTES: 1. NEW SHOWN AS BOLD ------

2. FUTURE ITEMS SHOWN AS DASHED _ _ _ _ _ _

SUPP	LIED FROM:	200A SER		ITRANC	E DISCO	NNECT										
	PANEL _"A" (N	EW)				VO	LTAGE	120	1	208	v	3	ø	4	w	
	FLUSH		M.C.B.				MLO	х		I.G. BAR			MANF.	TBD		
			BUS	225A	CU				•	A.I.C.	22K	_	C.B.	BOLT ON	-	
											1	1	1			
TYPE	DESCRIPTION		BKR	CIR	LO	AD (VOL	T AMPS) / PHAS	E		CIR	BKR	DE	SCRIPTION		TYPE
					Α		В		0	•						
R	TELEPHONE BD R	EC	20	1	180	0		1	1		2	20	TEMP	LIGHTING		
R	ROOFTOP REC		20	3			360	0			4	-	SPAC	E		
	SPACE		-	5			1		0	0	6	-	SPAC	E		
	SPACE		-	7	0	0			1		8	-	SPAC	E		
	SPACE		-	9			0	0			10	-	SPAC	E		
	SPACE		-	11			1		0	0	12	-	SPAC	E		
	SPACE		-	13	0	0			1		14	-	SPAC	E		
	SPACE		-	15			0	0			16	-	SPAC	E		
	SPACE		-	17	•		1		0	0	18	-	SPAC	E		<u> </u>
	SPACE		-	19	0	0		•	1		20	-	SPAC	=		
	SPACE		-	21			0	0	•	•	22	-	SPAC	E		
	SPACE		-	23	0	•]		U	U	24	-	SPAC	=		
	SPACE		-	20	U	U	•	0]		20	-	SPAC	<u> </u>		
	SPACE		-	21			U	U	0	0	20	-	SPAC	=		
	SPACE		-	31	0	5043]		0	U	32	60 /	RTIL6	-		м
	SPACE		-	33	U	3043	0	5043]		34		_			м
	SPACE		-	35			•	0040	0	5043	36	3	-			M
	SPACE		-	37	0	5043]				38	60	RTU-7			м
	SPACE		-	39	-		0	5043			40		-			м
	SPACE		-	41					0	5043	42	3	-			м
					10266		10446		1008	6					-	
	LOAD TYPE			CONN	ECTED I	(VA	тота	L	FAC	TOR	DEM	AND KV	4	TOTAL		
				Α	в	с	ALL PI	HASES			A	в	с	ALL PHAS	ES	
	LIGHTING			0.0	0.0	0.0	0.0		125%	, 0	0.0	0.0	0.0	0.0		
	RECEPTACLE (10)	(VA OR LE	ESS)	0.2	0.4	0.0	0.5		100%	, 0	0.2	0.4	0.0	0.5		
	RECEPTACLE (OV	ER 10KVA	.)	0.0	0.0	0.0	0.0		50%	, 0	0.0	0.0	0.0	0.0		_
	HVAC/MOTOR			10.1	10.1	10.1	30.3		100%	, 0	10.1	10.1	10.1	30.3		
	MOTOR(LARGEST)		0.0	0.0	0.0	0.0		125%	, 0	0.0	0.0	0.0	0.0		
	KITCHEN EQUIPMI	ENT		0.0	0.0	0.0	0.0		100%	, 0	0.0	0.0	0.0	0.0		
	MISCELLANEOUS 0.0		0.0	0.0	0.0	0.0		100%		0.0	0.0	0.0	0.0			
	TOTAL KVA 10			10.3	10.4	10.1	30.8		то	TAL KVA	10.3	10.4	10.1	30.8		
	WITH GROUND BU	IS							TOT	AL AMPS	85.6	87.1	84.1	85.5		↓ ∣
	LEGEND	R = I	RECEPTA	CLE	M = I	HVAC / MC	DTOR	К	= KITCH	EN	G = MIS	SCELLANEOUS				
		MAX PERC	ENT DIFF	ERENCE	BETWEEI	N PHASES	S (A,B,C):		3.4%	6						

SUPPLIED FROM: 400A SERVICE ENTRANCE DISCONNECT

		PANELSB" SECTION 1 (NEW)			-	VO	LTAGE	120	1	208	v	3	ø	4	w		
		FLUSH	M.C.B	400/3			MLO	х	Ŀ	G. BAR			MANF.	TBD			
		SURFACE X	BUS	400A	CU	FEEI	D THRU	SB2	•	A.I.C.	22,000	-	С.В.	BOLT ON	-		
												-			-		
	TYPE	DESCRIPTION	BKR	CIR	104				F		CIR	BKR		ESCRIPTION		TYPE	
		DEGORAL HOI	Bitt			0 (102	в	/ I IIAO	- C			Diak					
	L	TEMP LIGHTING	20	1	192	0					2	20	SPAR	=		1	
1		SPARE	20	3			0	0]		4	20	SPAR				1
		SPARE	50 /	5	1				0	0	6	20	SPAR				1
		-	2	7	0	0]				8	20	SPAR	E			
1		SPARE	20	9			0	0			10	20	SPAR	E			
1		SPARE	20	11			_		0	0	12	20	SPAR				
1		SPARE	20	13	0	0			,		14	20	SPAR	E			
1		SPARE	20	15			0	0			16	2	-				
		SPARE	50	17			-		0	0	18	20	SPAR	Ξ			1
		-	2	19	0	0			1		20	50	SPAR	E			
1		SPARE	20	21	-		0	0			22	2	-				
1		SPARE	20	23	 		1		0	0	24	50	SPAR				
1		SPARE	20	25	0	0			1		26	2	-				
		SPARE	20	27	-		0	0			28	20	SPARI				
		SPARE	20	29			1		0	0	30	20	SPAR	-			
		SPARE	20	31	0	0			1		32	20	SPARI				
1		SPARE	20	33	-		0	0			34	30	SPAR				
		SPARE	20	35			1		0	0	36	2	-	_			
		SPARE	20	37	0	0	•	•	1		38	20	SPAR	-			
1		SPARE	20	39	-		0	0	540	•	40	30	SPARI	=			
	ĸ	ROOF TOP REC	20	41		400	1		540	U	42	2	-			_	
		SPARE	20	43	U	400	•	•]		44	20	SDAD			G	
		SPARE	20	45	-			U	0	0	40	20	SPAR				
		SPARE	20	47	0	0	1		U	0	50	20	SPAR	-			
		SPARE	20	51			0	0]		52	20	SPAR	-			
1		SPARE	20	53	1			•	0	0	54	20	SPAR			-	
-				SEC. 1	592		0		540	•	•.			_			
				SEC. 2	10086		10086		10086								
				TOTAL	10678		10086		10626								
		LOAD TYPE		CONN		(VA	ΤΟΤΑ	L	FACT	OR	DEMA		4	TOTAL			
				Δ	в	<u>с</u>					Δ	в	c		s]	
				0.2	0.0	0.0	0.2		125%		0.2	0.0	0.0	0.2			
				0.0	0.0	0.5	0.5		100%		0.0	0.0	0.5	0.5			
				0.0	0.0	0.0	0.0		50%		0.0	0.0	0.0	0.0		-	
			5.1	5.1	5.1	15.3		100%		5.1	5.1	5.1	15.3		-		
	MOTOR(LARGEST)		5.0	5.0	5.0	15.0		125%		6.3	6.3	6.3	18.8		-		
				0.0	0.0	0.0	0.0		65%		0.0	0.0	0.0	0.0		1	
				0.4	0.0	0.0	0.4		100%		0.4	0.0	0.0	0.4		-	
			TOTAL KVA	10.7	10.1	10.6	31.4		тоти		12.0	11.3	11.9	35.2		1	
		WITH GROUND BU	s	L			1		TOTAI	AMPS	99.8	94.5	99.0	97 7		1	
				P -	RECEPTA	CLE	M – L			v			G = MIS			1	
		LEGEND								N		- 1 1					
			MAX PERCENT DIF	FERENCE	REIMEEN	N PHASE	5 (A,B,C):		5.5%								1

1 PROVIDE GFCI BREAKER.

				VO	LIAGE	120	_ /	208	V	3	ø	W		
	FLUSH M.C.B.					MLO	х	Ι.	G. BAR			MANF.	TBD	
		BUS	225A	CU				-	A.I.C.	22K	-	С.В.	BOLT ON	
Έ	DESCRIPTION	BKR	CIR	LO	AD (VOL	T AMPS	6) / PHAS	E		CIR	BKR	DE		ТҮ
				Α		в		с						
	TELEPHONE BD REC	20	1	180	0					2	20	TEMP	LIGHTING	
	ROOFTOP REC	20	3			360	0			4	-	SPACE	E	
	SPACE	-	5			-		0	0	6	-	SPACE	E	
	SPACE	-	7	0	0					8	-	SPACE	E	
	SPACE	-	9			0	0			10	-	SPACE	E	
	SPACE	-	11					0	0	12	-	SPACE	E	
	SPACE	-	13	0	0			1		14	-	SPACE	E	
	SPACE	-	15			0	0			16	-	SPACE	E	
	SPACE	-	17			1		0	0	18	-	SPACE	E	
	SPACE	-	19	0	0		1	1		20	-	SPACE	E	
	SPACE	-	21			0	0			22	-	SPACE	E	
	SPACE	-	23			1		0	0	24	-	SPACE	E	
	SPACE	-	25	0	0		1	1		26	-	SPACE	E	_
	SPACE	-	27			0	0			28	-	SPACE	E	
	SPACE	-	29			1		0	0	30	-	SPACE	E	
	SPACE	-	31	0	5043		1	1		32	60	RTU-4	,	N
	SPACE	-	33			0	5043			34		-		N
	SPACE	-	35			1		0	5043	36	3	-		N
	SPACE	-	37	0	5043		1	1		38	60	RTU-5		N
	SPACE	-	39			0	5043			40		-		N
	SPACE	-	41	40000				0	5043	42	3	-		
				10266		10446		10086						
1	LOAD TYPE		CONN	ECTED	KVA	TOTA	L	FACT	OR	DEM	AND KVA	A	TOTAL	_
			Α	В	С	ALL P	HASES			Α	В	С	ALL PHASES	
	LIGHTING		0.0	0.0	0.0	0.0		125%		0.0	0.0	0.0	0.0	
	RECEPTACLE (10KVA OR	LESS)	0.2	0.4	0.0	0.5		100%		0.2	0.4	0.0	0.5	
	RECEPTACLE (OVER 10K)	/A)	0.0	0.0	0.0	0.0		50%		0.0	0.0		0.0	
	HVAC/MOTOR		10.1	10.1	10.1	30.3		100%		10.1	10.1	10.1	30.3	
	MOTOR(LARGEST)		0.0	0.0	0.0	0.0		125%		0.0	0.0	0.0	0.0	
	KITCHEN EQUIPMENT		0.0	0.0	0.0	0.0		100%		0.0	0.0	0.0	0.0	
	MISCELLANEOUS		0.0	0.0	0.0	0.0		100%		0.0	0.0	0.0	0.0	
	TO	TAL KVA	10.3	10.4	10.1	30.8		TOTAL KVA		10.3	10.4	10.1	30.8	
	WITH GROUND BUS									85.6	87.1	84.1	85.5	

PPLIED FROM:	PANEL "SB" SEC. 1

PPI	LIED FROM:	PANEL "SB" S	EC. 1													
	PANEL "SB" S	SECTION 2 (NE)	V)			vo	LTAGE	120	1	208	v	3	ø	4	w	
	FLUSH	M.C.	В.				MLO		L	G. BAR	-		MANF.	SQ. D	-	
		DI			<u></u>	FEE				A.I.C	22.000		с в		-	
	SURFACE	ы	15 400	A		. FEE	DIRU	FUTURE	=	A.I.C.	22,000		С.В.	BOLTON	-	
ΡE	DESCRIPTION	ВКІ	રા	R	LOA) / PHASE			CIR	BKR	D	ESCRIPTION		ТҮР
					Δ		В	,	- с							
	SPARE	20	55	5	0	0					56	20	SPARE	=		+
	SPARE	20	57	,	•	•	0	0			58	20	SPARE			+
	SPARE	20	59	,					0	0	60	2	-	_		-
	SPARE	20	61	1	0	0]	L	-	_	62	20	SPARE	•		-
	SPARE	20	63	3			0	0			64	40	SPARE			
	SPARE	20	65	5				1	0	0	66	2	-			
	SPARE	20	67	,	0	0]	L			68	20	SPARE	•		
	SPARE	20	69)			0	0			70	20	SPARE			
	SPARE	20	71	I					0	0	72	20	SPARE		-	
	SPARE	30	73	3	0	5043					74	60 /	RTU-1			м
	-		2 75	5		-	0	5043			76		-			м
	SPARE	50	7 7	,			-		0	5043	78	3	-			М
	-		2 79)	0	5043					80	60 /	RTU-2			м
	SPARE	15	81				0	5043		1	82					м
	-		2 83	3			1	l	0	5043	84	3	-			M
	SPACE	-	85	5	0	0					86	60	RTU-3			
	SPACE	-	87	'			0	0			88					
	SPACE	-	89)			1	l	0	0	90	3	-			_
_	SPACE	-	91		0	0					92	-	SPACE			_
	SPACE	-	93	3			0	0			94	-	SPACE			
	SPACE	-	95				1	l	0	0	96	-	SPACE	-		
	SPACE	-	97		0	0	•				98	-	SPACE	-		_
_	SPACE	-	10	1			U	U	0	0	100	-	SPACE			-
	SPACE	-	10	2	0	0	1	l	0	U	102	-	SPACE	-		
-	SPACE		10	5	U	U	0	0			104	-	SPACE	-		+
_	SPACE	-	10	7					0	0	108	-	SPACE	-		
			SEC	. 2	10086		10086		10086	•			1017101	_		
			FUTU	RE	0		0		0							
			тот		10086		10086		10086							
	LOAD TYPE		со	NNE	ECTED I	KVA	TOTA	NL .	FACT	OR	DEMA	AND KV	4	TOTAL		
			A		в	с	ALL P	HASES			Α	в	с	ALL PHASE	ES	
	LIGHTING		0.0	D	0.0	0.0	0.0		125%		0.0	0.0	0.0	0.0		
	RECEPTACLE (10)	(VA OR LESS)	0.0	D	0.0	0.0	0.0		100%		0.0	0.0	0.0	0.0		
	RECEPTACLE (OV	ER 10KVA)	0.0	5	0.0	0.0	0.0		50%		0.0	0.0	0.0	0.0		
	HVAC/MOTOR		0.0	D	0.0	0.0	30.3		100%		0.0	0.0	0.0	30.3		
	MOTOR(LARGEST)			D	0.0	0.0	0.0		125%		0.0	0.0	0.0	0.0		
	KITCHEN EQUIPMENT			0	0.0	0.0	0.0		65%		0.0	0.0	0.0	0.0		
	MISCELLANEOUS			D	0.0	0.0	0.0		100%		0.0	0.0	0.0	0.0		
TOTAL KVA				b	0.0	0.0	30.3		тот	AL KVA	0.0	0.0	0.0	30.3		
	WITH GROUND BUS								ΤΟΤΑΙ		0.0	0.0	0.0	84.0		
	LEGEND	L = LIGHTING		R = R	RECEPTA	CLE	M = I	HVAC / MC	TOR	K	= KITCHE	N	G = MIS	CELLANEOUS		7
		MAX PERCENT	FFEREN		BETWEE	N PHASE	S (A.B.C):		0.0%					-		

